



Historic Preservation Commission Regular Meeting

City Council Chambers, 448 E. 1st Street, Salida, CO
November 13, 2025 at 4:30 PM

Agenda

Email public comments to: planning@cityofsalida.com

Please register for the Historic Preservation Commission

Meeting: https://zoom.us/webinar/register/WN_TYIpZeVBQ4SGKYcv2CSdrQ

After registering, you will receive a confirmation email about joining the webinar.

Call to Order by Chair

Roll Call

Amendment(s) to Agenda

Approval of the Minutes

1. Approve Minutes of August 28, 2025

Unscheduled Citizens

Public Hearings

Public Hearings will follow the following procedure: A. Open Public Hearing B. Proof of Posting / Publication (confirmed by staff) C. Staff Review of Application/Proposal D. Applicant's Presentation (if applicable) E. Public Input F. Close Public Hearing G. Commission Discussion H. Commission Decision or Recommendation

2. 129 West Sackett Avenue - Major Certificate of Approval Request for Rooftop Patio Enclosure
3. 228 North F Street - Major Certificate of Approval Request for Second Story Enclosed Patio Addition and Associated Alterations

Unfinished Business

New Business

Adjourn

Commissioners' Comments

Alternate Notice

**An alternate can only vote on, or make a motion on an agenda item if they are designated as a voting member at the beginning of an agenda item. If there is a vacant seat or a conflict of interest, the Chairman shall designate the alternate that will vote on the matter. If a Voting member shows up late to a meeting, they cannot vote on the agenda item if the alternate has

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the Community Development Office at 448 E. 1st Street, Ste. 112, Salida, CO 81201, Ph.719-530-2628 at least 48 hours in advance.

been designated.

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Historic Preservation Commission Historic Preservation Commission

City Council Chambers, 448 E. 1st Street, Salida, CO
August 28, 2025 at 4:30 PM

Draft Minutes for Meeting of 8.28.25

Zoom Meeting Registration Link:

https://zoom.us/webinar/register/WN_pvMy043MQBiTmcPsntr3q

Email public comments to: planning@cityofsalida.com

Call to Order by Chairman – 4:30 PM

Roll Call

In attendance: Chair K. Krebs, L. Schubert, R. Short, B. Campbell

Staff: C. Poissant, T. Sherwood

Approval of the Minutes

1. Approve Minutes of June 26, 2025
 - Motion by Schubert, 2nd by Campbell to approved the minutes of June 26, 2025 as submitted.
 - **MOTION APPROVED 4-0**

Amendment(s) to Agenda - none

Unscheduled Citizens - none

New Business

Public Hearings

Public Hearings will follow the following procedure: A. Open Public Hearing B. Proof of Publication C. Staff Review of Application/Proposal D. Applicant's Presentation (if applicable) E. Public Input F. Close Public Hearing G. Commission Discussion H. Commission Decision or Recommendation

2. The request is to receive a Major Certificate of Approval to construct two storage shed buildings and security fencing at 701 East Hwy 50. The applicant is Southwest Conservation Corps represented by Kelly Monahon.

Staff presented the request, followed by the applicant. A period of discussion and questioning between the board, the applicant, and staff followed.

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the Planning Department Ph.719-530-2628 at least 48 hours in advance of the meeting.

Motion by Krebs, 2nd by Short to approve the issuance of a Certificate of Approval with the following conditions:

- 1. The sheds shall be constructed in the rear of the yard of the property, outside of the original parcel containing the historic house (see attached). The exact location of the sheds shall be indicated on a scaled drawing and submitted to Planning staff prior to construction.**
- 2. The structures shall generally conform to the dimensions and elevations provided with a maximum height of no more than 10 feet.**
- 3. The salvaged barn wood may be used but is not required. If not, it is recommended that the applicant seek another user to repurpose the barn wood.**
- 4. Any fencing to be installed adjacent to and east of the house where visible from Highway 50 shall be constructed of wood materials and placed at the rear (SW) corner of the house.**
- 5. The applicant shall apply for a building permit if required by the City of Salida and the Chaffee County Building Department.**
- 6. Upon completion of the project the applicant shall contact staff to schedule an inspection of the approved work with a member of the Historic Preservation Commission.**
- 7. The Historic Preservation Commission's review and approval is required for any significant changes or modifications from the approved application.**

MOTION APPROVED 4-0

Adjourn – 5:24 PM

MOTION to adjourn by Campbell, second by Krebs. Approved 4-0.



HISTORIC DISTRICT COMMISSION STAFF REPORT

MEETING DATE: November 13, 2025

AGENDA ITEM TITLE: 129 W. Sackett Avenue - Major Certificate of Approval Request for Rooftop Patio Enclosure

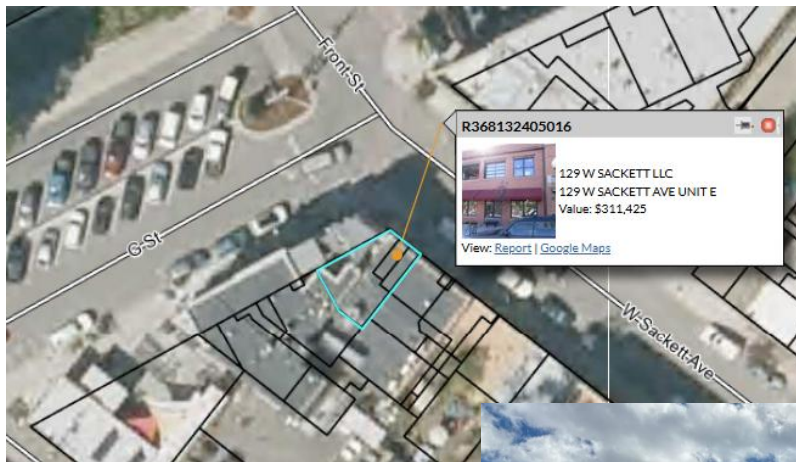
AGENDA SECTION: Public Hearing

REQUEST: The request is to receive a Major Certificate of Approval to enclose the rooftop patio at 129 W. Sackett Avenue Unit E (above the addition approved in 2019)

APPLICANT: The applicant is Tom Pokorny, representing 129 W Sackett LLC.

LOCATION:

The legal description for the property is Lots 7, 8, 9 and part Lots 10 and 11, Block 5 in the Town (now City) of Salida, Chaffee County, Colorado. The property is also known as 129 W. Sackett Street and the Front Street Condominiums – Unit E.



PROCESS - Sec. 16-12-80

No building permit for work or activity requiring a certificate of approval shall be valid or issued by the Building Official absent the receipt by the official of the necessary Certificate of approval (CA). Conversely, the issuance of a CA shall not relieve an applicant from having to obtain any and all other permits or approvals for the subject work or activity as may be required under the City's zoning, subdivision, building or other life/safety codes.

Certificates of approval may be made subject to such terms, conditions or limitations as determined necessary to protect and preserve the structural, aesthetic and/or historic integrity and value of the building, structure or site to which it pertains. A CA shall not constitute a site-specific development plan or vested property right and, unless acted upon in a substantial fashion or otherwise specifically authorized and provided for in the permit, shall automatically expire one (1) year from its date of issuance, unless extended by order of the Historic Preservation Commission.

An application regarding major activity shall be reviewed and ruled upon by the HPC at a regular or special meeting to be conducted within thirty-one (31) days from the date the application was determined complete, or within such longer time period as necessary to reasonably accommodate the application on an HPC meeting agenda. The unexcused absence of the applicant from the meeting shall cause the HPC to deny the application or, at the HPC's option, continue the matter to a later meeting date of its choosing.

OBSERVATIONS

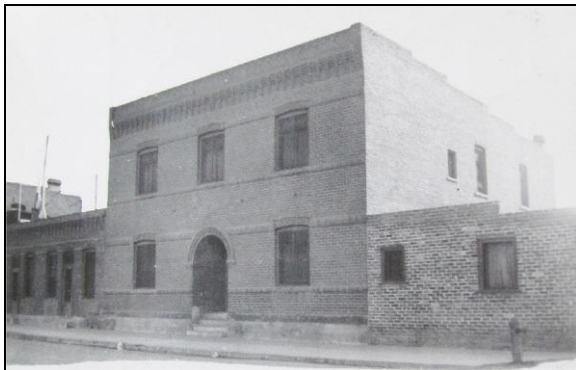
1. The subject property is located within the Salida Downtown Historic District, the Central Business (C-2) zone district and the Central Business Economic Overlay (CBEO). In the recently adopted land use code, the property is within the MD (Mixed Use Downtown) zone district, which retains the CBEO use restrictions.
2. The stucco was removed and a Major Certificate of Approval for an addition to the original Victory Hotel building was approved in 2019. The addition is a non-contributing structure constructed in 2021-2022.
3. Revisions to the Major CA for the addition approved in 2019 included minor alterations to the masonry work. A roof top patio and awnings were approved in 2020.
4. The application calls for enclosing the 600 SF rooftop patio that currently serves the Biker Baker restaurant by raising the remaining half-walls on the perimeter and fully enclosing the space.
5. The applicant has included a narrative, photographs, floorplan site plan, details and elevations describing the proposed addition. The enclosure will be visible from both G Street and Sackett Avenue.

REVIEW STANDARDS – Sec. 16-12-90 (c)

Activities Within Designated Historic Districts. The following minimum criteria will be applied in reviewing and evaluating an application for a CA with respect to a nonlandmark or noncontributing building, structure or site within a designated historic district.

1) Enhance District. Whether and/or to what extent the proposed work will enhance and advance the purposes and intent underlying the establishment of the district.

- The significant architecture in the SDHD is primarily turn of the century commercial brick masonry construction. According to the AIF, the existing building at 129 W. Sackett is non-contributing. The original windows had been covered and stucco applied. The stucco removal exposed original brick detailing and helped restore the historic façade of the building on the Sacket Avenue façade.





- The rooftop patio enclosure forms an enclosed third level compatible with the previously approved addition and meets the intent of the historic district.

2) Overall Character. New structures and additions to, or the exterior repair or alteration of, existing nonlandmark and noncontributing structures shall be compatible with the historic architectural character, scale, shapes, sizes, heights, facades and materials predominant in the district to the maximum extent feasible.

- The applicant is proposing that the rooftop patio enclosure be constructed with compatible materials. The height of the addition is slightly greater than the adjacent building on G Street although the proportions are similar in scale.
- The walls will have the same window sizes and configurations as the floor below with the same flagstone sills and steel lintel details as those below. The exterior finishes will match the brick of the existing half-walls.
- The roof will include a parapet with a stucco cap that complements those components on the existing building.

3) Specific Compatibility. New structures and additions to, or the exterior repair or alteration of, existing nonlandmark and noncontributing structures shall specifically harmonize with neighboring landmark and contributing structures or sites with regard to height, scale, shape, size, façade, materials, setback, landscaping and exterior architectural features to the maximum extent feasible.

- In general the proposed upper story addition will harmonize with the surrounding buildings in the historic district.
- The proposed alteration to the existing addition are consistent with the surrounding neighborhood.

4) Work Necessary. Whether or not the proposed work is required or necessary to comply with a building, fire or other health/safety code.

- The proposed work is not necessary to comply with any building or safety codes, however it does protect the integrity of the structure by enclosing the third level with standard materials and roofing.

RECOMMENDED FINDINGS

The purpose of the Certificate of Approval is to determine and document compliance of the application with the review standards contained in Section 16-12-90.

The proposed rooftop patio enclosure meets the review standards for alterations to the exterior of a noncontributing structure within the Salida Downtown Historic District as it is compatible with the existing character and defining features of the previously approved addition and with the overall historic features of the district.

RECOMMENDED ACTION

Based upon the observations, review standards, and findings outlined above, staff recommends the following the Historic Preservation Commission authorize the issuance of a Certificate of Approval for the rooftop patio enclosure and associated alterations to the previously approved addition to the existing building at 129 W. Sackett Street in accordance with the plans submitted with the application subject to the following conditions:

1. The applicant shall comply with all provisions of the Salida Municipal Code and shall obtain all required city and county building permits.
2. Prior to issuance of a Certificate of Occupancy, the applicant shall contact staff for inspection and approval of the work by staff together with at least one member of the HPC. Any work not in compliance with the approved plans is subject to review by the HPC.
3. Other conditions as recommended by the HPC board.

RECOMMENDED MOTION

I move to authorize the issuance of a Certificate of Approval for the rooftop patio enclosure and associated alterations at 129 West Sackett Street in accordance with the plans submitted with the application with the following conditions:

1. The applicant shall comply with all provisions of the Salida Municipal Code and shall obtain all required city and county building permits.
2. Prior to issuance of a Certificate of Occupancy, the applicant shall contact staff for inspection and approval of the work by staff together with at least one member of the HPC. Any work not in compliance with the approved plans is subject to review by the HPC.
3. Other conditions as recommended by the HPC board.

Attachments: Application, Elevations, Floor Plans and Sections
Architectural Inventory Form (AIF) – Laura Evans House / Victory Hotel



GENERAL DEVELOPMENT APPLICATION

448 East First Street, Suite 112

Salida, CO 81201

Phone: 719-539-4555 Fax: 719-539-5271

Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

- Annexation
- Pre-Annexation Agreement
- Appeal Application (Interpretation)
- Certificate of Approval
- Creative Sign Permit
- Historic Landmark/District
- License to Encroach
- Text Amendment to Land Use Code
- Watershed Protection Permit
- Conditional Use
- Administrative Review:
(Type) _____
- Limited Impact Review:
(Type) _____
- Major Impact Review:
(Type) _____
- Other: **Major Activity** _____

2. GENERAL DATA (To be completed by the applicant)

A. Applicant Information

Name of Applicant: 129 W. Sackett, LLC ---- Tom Pokorny

Mailing Address: 401 Two Rivers Rd., Salida, CO 81201

Telephone Number: 916 960-9397 FAX: _____

Email Address: tpokorny@naturalhabitats.biz

Power of Attorney/ Authorized Representative: _____
(Provide a letter authorizing agent to represent you, include representative's name, street and mailing address, telephone number, and FAX)

B. Site Data

Name of Development: Front St. Condominiums

Street Address: 129 W. Sackett Ave, Salida, CO 81201 - Unit E

Legal Description: Lots 7,8,9 Block 5 Subdivision _____ (attach description)

Disclosure of Ownership: List all owners' names, mortgages, liens, easements, judgments, contracts and agreements that run with the land. (May be in the form of a current certificate from a title insurance company, deed, ownership and encumbrance report, attorney's opinion, or other documentation acceptable to the City Attorney)

I certify that I have read the application form and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Signature of applicant/agent Tom Pokorny Date 9-14-25

Signature of property owner Tom Pokorny Date 9-14-25



**CERTIFICATE OF APPROVAL
APPLICATION**

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

A. Type

1. Minor Activity - means or includes:

- a. The replacement of surface materials such as roofing or siding or an exterior architectural feature with materials and design substantially similar to the existing materials or design;
- b. The installation, removal or replacement of a fence, awning, roofing material or dumpster enclosure;
- c. The reuse of an existing window or door opening which has been covered or filled through installation of a replica of a historic door or glazing;
- d. Those activities deemed to not detrimentally impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be minor upon petition to and determination by the Administrator or his or her designee.

2. Major Activity - means and includes:

- a. An activity not defined or qualifying as an insubstantial or minor activity, including, but not limited to, reconstruction, rehabilitation, remodeling, renovation, relocation or demolition;
- b. Alterations, additions or other work performed on a building, structure or site that result in the increase or decrease of site coverage, floor area or exterior wall or roof surface;
- c. The installation, alteration or removal of a window or door opening;
- d. The replacement or repair of surface materials such as roofing or siding or an exterior architectural feature with materials or design not substantially similar to the existing materials or design;
- e. The cleaning of an exterior surface of a contributing or landmark building or structure by sandblasting, high-pressure spraying or other chemical or mechanical means;
- f. Application of sealant, paint, stucco, texture or other material that would conceal, alter or damage the exterior of any contributing or landmark building with an existing unfinished or unpainted brick, masonry or other unfinished siding or structural element;
- g. Those activities deemed to potentially impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be major upon petition to and determination by the Administrator or his or her designee.

2. PROCEDURE (City Code Section 16-12-80)

A. Development Process

- 1. Pre-Application Conference. Optional.
- 2. Submit Application.
- 3. Staff Review. Determination of Minor or Major Activity.
 - a) Minor Activity. Administrative Review.
 - b) Major Activity. Applicant Notice and Administrative review with advice from HPC.

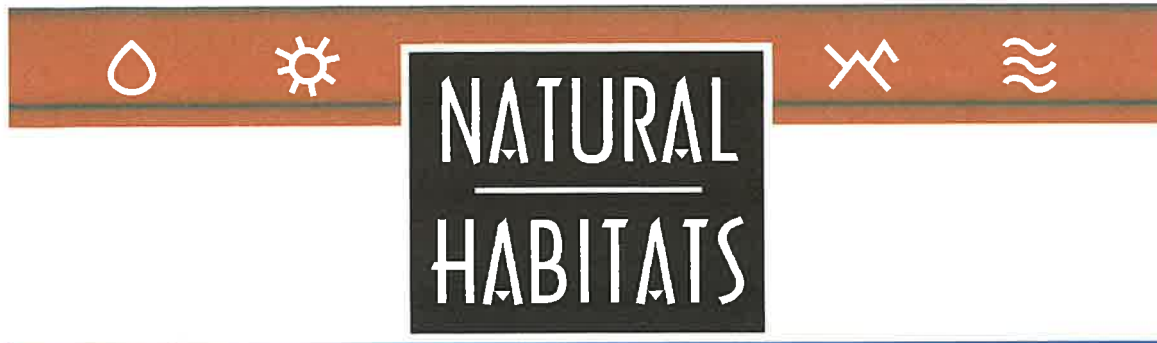
STAFF USE ONLY

Application received by: _____ Date/Time: _____
 Code: _____ Project Name: _____ File Name: _____
 Fee: _____ Receipt #: _____ Check #: _____

3. APPLICATION CONTENTS (City Code Section 16-12-80(b)(2))

A. All Projects, 7 copies of all materials are required for major applications, 2 for minor:

- 1) **General Development Application.**
- 2) **Photographs.** All applications shall be accompanied by photographs reasonably and accurately depicting the current status of the building, structure or site, or that portion thereof, subject to the application. Include photographs showing all sides of the structure, particularly the front and any side affected by the proposed project and detailed photographs of the features affected by the project.
- 3) **Drawing Format.** Drawings shall be large enough so that all information is legible but no smaller than 11" x 17". Sketch drawings are acceptable if they provide accurate information and are reasonable drawn to scale.
- 4) **Dimensioned Site Plan.** Site plan showing street locations, existing structure and proposed new elements or structures.
- 5) **Dimensioned Floor Plan(s).** Floor plans showing existing structures and proposed new elements or structures.
- 6) **Dimensioned Roof Plan.** Roof plan showing proposed new roof elements in context of the existing roof.
- 7) **Dimensioned Exterior Elevations.** Exterior elevations showing appearance of proposed project with all materials and indicating finishes.
- 8) **Building Sections and Construction Details.** Sections and details as required adequately explaining and clarifying the project. Note all materials and finishes.
- 9) **Specification of Materials.** Manufacturer's product literature and material samples. Product literature is required for replacement windows.
- 10) **Bids.** If proposing to replace existing historic materials or features with replicas rather than repair or restore, firm bids must be provided for both restoration and replication.
- 11) **Window Replacement.** If proposing to replace historic windows (aside from wooden replica sash replacement) justification shall be provided as outlined in National Park Service Preservation Brief #9. Submittal must include written assessment of condition of existing windows.
- 12) **New Construction** shall include the following information:
 - a. **Block Site Plan.** A site plan or aerial photograph showing relationship of proposed structure to existing structures.
 - b. **Written Statement.** A written statement of the design philosophy and building program.
 - c. **Massing Model.** A massing model illustrating the relationship between the new structure(s) and existing building(s) on the project site and adjacent lots.
 - d. **Photographs.** Photographs of the surrounding structures including both block faces and side streets.
- 13) **Demolition or relocation** of a building, structure or site shall include the following:
 - a. A detailed description of the reasons supporting or justifying the proposed demolition or relocation, including a delineation and explanation of all economic data where economic hardship or other economic cause is given as a reason for the proposed demolition or relocation.
 - b. A detailed development or redevelopment plan for the demolition and/or receiving relocation site and a schedule for completion of the work.
 - c. Elevations, building sections, construction details, specifications and massing model of proposed replacement structure similar to those required for new construction.
 - d. For landmark or contributing structures the applicant must submit a report prepared by an architect, appraiser, engineer or other qualified person experienced in the rehabilitation, renovation and/or restoration of historic buildings, structures or sites addressing:
 - i) The structural soundness of the building, structure or site and its suitability for rehabilitation, renovation, restoration or relocation.
 - ii) The economic and structural/engineering feasibility of the rehabilitation, renovation and/or restoration of the building, structure or site at its current location.
 - iii) The economic and structural/engineering feasibility of relocating the building, structure or site.
- 14) **Application Fee.** \$50.00 for a Minor Activity. \$100 for a Major Activity. Cash or check made out to City of Salida.



To: City of Salida (Salida Historical Preservation Commission)

Date: October 1, 2025

Prepared for the Historic Preservation Commission --- Major Certificate of Appropriateness for an addition at 129 W. Sackett St. (Non-contributing, new building)

Prepared by: Tom Pokorny, Natural Habitats Design, Inc
202 N. 'F' St.
Salida ,Co 81201
719 539-4481
tpokorny@naturalhabitats.biz

Description of Proposed Project - Overview:

First, note that the proposed changes will occur on a new non-contributing building constructed in 2020-2021.

We propose to enclose the rooftop deck of Unit E, 129 W. Sackett that currently serves the Biker and the Baker restaurant.

The deck area comprises approximately 600 square feet. The deck has full height walls adjacent to the south and a portion of its eastern perimeters that abut a portion of the existing 3-story building (also new). The deck has half walls along its northern and western outside perimeters adjacent to the sidewalks. We

propose to raise the half walls adding the same window sizes and configuration that currently exists on the floor directly below. We will top the space with a roof structure and parapet that complement those components on the adjacent portions of the existing building. The exterior finishes of the newly raised wall will use the same brick that exists on the lower portion of the half walls. The new windows will match those directly below, using the same flagstone sills and steel lintel details. The new parapet will use brick with a stucco cap that will look like concrete. The parapet is shown in detail 3 of sheet A5.00 – Elevations.

The materials below will further describe in more detail the work to be done with this project.

Reason for Proposed Project:

The application asks for the reason for modifying or changing the exterior in a way that triggers this application. Since the rooftop deck was built, it has developed a leak that we have failed to find and fix, even after trying four fixes and spending a lot of money. This leak has forced repairs in the unit below several times and we believe a continuation of this leak will create extensive problems to the building if not remedied.

Furthermore, this deck is used as a seating area of the Biker and the Baker. Currently, it is used only when the weather cooperates. Enclosing the deck will allow this area to be utilized throughout the year regardless of weather.

Design Guidelines:

The 129 W. Sackett project went through considerable review in 2019 -2020. During that review, we vetted the massing, traditional spacing patterns, design and materials to assure that the project would both comply with Guidelines and blend into the historic district. The proposed addition utilizes the same materials and design previously approved to achieve its goals. The photos and plans that follow will show how this addition meets the Guidelines and blends into the overall project and neighborhood.

I have copied Guidelines from Part 4 – Additions and New Buildings and commented to guidelines in **bold**.

DESIGN STANDARDS

“The Form, Rhythm and Character of downtown commercial district established by its contributing buildings should be reinforced and enhanced as part of any alteration or new construction.”

A. Architectural Character for All New Construction

Character-defining Features in Salida’s Downtown Historic District

Salida’s commercial structures are predominately two-storied buildings constructed of brick. Many of these buildings display architectural characteristics typical of late 19th century storefronts.

The buildings in the downtown historic district display the following essential characteristics, which should be preserved:

- Buildings are built at the sidewalk edge with no setback from the property line. **YES**
- Entries are usually set back from the sidewalk in a protected recess. **N/A**
- Masonry (brick) construction predominates **YES**
- Most buildings are two-storied construction, traditionally having commercial uses on the first floor..
- First floors have large display windows covering most of the façade, with a framed transom above the display windows. There is a kickplate or bulkhead panel beneath the display window. **N/A**
- Second floors have smaller windows with a vertical emphasis. **New windows align above 2nd story windows**
- Buildings are predominantly flat roofed. **YES**
- Most buildings are detailed with a decorative cornice, either metal or brick. **YES**

We have incorporated the above character-defining features in our design.

B. Materials

- 1) Materials “should contribute to the visual continuity of the district” **YES**
- 2) Use clear and non-reflective storefront windows **N/A**
- 3) Use durable materials **YES**
- 4) Use masonry similar to other district materials, with brick of the same size and color preferred. **YES**

C. Additions

Guidelines:

1. *An addition should be compatible in scale, materials and character with the main building and the historic district.*
 - An addition should relate to the building in mass, scale and form. It should be designed to remain subordinate to the main structure.
 - An addition with a pitched roof is inappropriate for a building with a flat roof.
 - An addition to the front of a building is inappropriate.

2. *An addition should not damage or obscure architecturally important features.*
 - For example, loss or alteration of a cornice line should be avoided.

3. *An addition may be made to the roof of a building if it does the following:*
 - An addition should be set back from the primary, character-defining facade, to preserve the perception of the historic scale of the building as seen from heavily-trafficked areas.
 - **Please consider that this addition is for a new building that was completed 5 years ago. The addition is not to a contributing building that has a “primary, character-defining façade” or even a building that was ever part of the historic district. There was a vacant lot here 5 years ago. (see photos 1 and 2 below). The current half walls around street side of the deck are already 42” tall, which we wish to make full height (see photo 7) .**
 - Its design should be modest in character, so it will not attract attention from the historic facade.
 - We are not adding onto an historic façade. We are correcting an issue within a new building. The design “will not attract attention.” It will look as though it was part of the new build --- that is the goal .**
 - The addition should be distinguishable as new, while remaining compatible with historic design.
 - **Again, we are not involved in an historic design or building. We want the enclosure to look as though it was part of the new building. We don’t think it would be appropriate to “distinguish” or set the addition apart from the new building as though the new building was something historic. This would give a false sense of history within the district, contrary to the philosophy and intent of the Guidelines.**

D. New Commercial Buildings

Mass and Size

Policy:

Patterns are created along the street by the repetition of similarly-sized building elements. For example, uniform facade widths evenly spaced create a rhythm that contributes to the visual continuity of the district. At a smaller size, the repetition of upper-story windows across most building fronts also creates a unifying effect. These features and similar patterns are some of the most important characteristics of the commercial character area and should be respected in all new construction.

4. Maintain the average perceived size of buildings at the sidewalk.

- Facade heights of new buildings should respect the height and scale of neighboring buildings, and respect the historic proportions of height to width.
- Floor-to-floor heights should appear similar to those of historic buildings in the area.

We have incorporated the above character-defining features in our original design when we built the “new commercial building.”

5. Traditional spacing patterns created by the repetition of uniform building widths (known as “bays”) along streets must be maintained. In Salida bays are usually 25’.

- In most cases, the primary facade should not exceed 25 feet without a clear expression of this standard module. In no case should it exceed 50’.
- Where a building must exceed this width, use a change in design features to suggest the traditional building widths. Changes in facade material, window design, facade height or decorative details are examples of techniques that may be considered. These variations should be expressed through the structure such that the composition appears to be a collection of smaller building modules.

We have incorporated the above character-defining features in our original design when we built the “new commercial building.”

6. A new building should incorporate a base, middle and a cap.

- Traditionally, buildings were composed of these three basic elements. Interpreting this tradition in new buildings will help reinforce the visual continuity of the area.
- Buildings should be designed with a termination to the top of the building in a way that complements and enhances the character of Downtown. Cornice or parapet details are typical.

We have incorporated the above character-defining features in our original design when we built the “new commercial building.”

Building and Roof Form

Policy:

One of the most prominent unifying elements of the commercial area is the similarity in building form. Commercial buildings were simple rectangular solids, deeper than they were wide. This characteristic is important and should be continued in new projects.

7. Rectangular forms should be dominant on commercial facades in the Salida Downtown Historic District.

- Rectangular forms should be vertically oriented.
- The facade should appear as predominantly flat, with any decorative elements and projecting or setback “articulations” appearing to be subordinate to the dominant form.

8. Use flat roof lines as the dominant roof form in the Historic District.

- Gabled roofs may also be used on the building if a false front or parapet with horizontal emphasis obscures it. They may also be used on upper story additions, since these are required to be set back from the primary facade.

We have incorporated the above character-defining features in our original design when we built the “new commercial building.”

Building Setbacks

Policy:

Buildings create a strong edge to the street because they traditionally aligned on the front lot line and were usually built out the full width of the parcel to the side lot lines. Although small gaps do occur between some structures, they are the exception. These characteristics are vitally important to the Downtown Historic District and in areas abutting the district where a street wall is a prominent feature.

9. Maintain the alignment of facades at the sidewalk’s edge.

- A continuous zero setback should be maintained on all streets within the downtown except to provide an appropriate recessed entry.
- Locating entire building fronts behind the established storefront line is inappropriate.

10. Maintain the pattern created by recessed entryways.

- Main entries should be clearly identifiable and inviting.
- The clear distinction between the primary façade and the side of the building should be maintained.
- Set the door back from the front facade an adequate amount to establish a distinct threshold for pedestrians to enter, and find protection from the weather. A recessed dimension of four feet is typical.
- Where entries are recessed, the building line at the sidewalk edge should be maintained by the upper floor(s).
- Use transoms over doorways to maintain the full vertical height of the storefront. Oversized (or undersized) interpretations are discouraged.

We have incorporated the above character-defining features in our original design when we built the “new commercial building.”

D. Horizontal Alignment

Policy:

A strong alignment of horizontal elements exists along the street. Alignment is seen at the first floor level with moldings that are found at the top of display windows; at upper floor levels, alignment is found among cornices, window sills and headers. This alignment of horizontal features on building facades is one of the strongest characteristics of the street and should be preserved. It is important to note, however, that slight variations do occur, which add visual interest. Major deviations from these relationships, however, disrupt the visual continuity of the street and are to be avoided.

11. The general alignment of horizontal features on building fronts must be maintained.

- Primary facades should have divisions between ground and upper floors that are consistent with neighboring structures.
- Typical elements that should align if feasible include: window moldings, tops of display windows, cornices, copings and parapets at the tops of buildings.
- When large buildings are designed to appear as several buildings, there should be some slight variation in alignments between the horizontal facade elements.

We have incorporated the above character-defining features in our design

12. The tops of the upper primary facades should be architecturally distinguished to provide visual terminations for the buildings.

We have incorporated the above character-defining features in our design

E. New Storefront Character N/A

Policy:

The street level floors of historic Salida commercial buildings are clearly distinguishable from the upper floors. First floors are predominantly fixed plate glass with a small percentage of opaque materials with recessed entries. Upper floors are the reverse—opaque materials dominate, and windows appear as smaller openings puncturing the solid walls. These windows are usually double hung. The street level is generally taller than the upper floors. Store fronts of 12 to 14 feet high are typical, whereas second floors of 10 to 12 feet are typical. This typical storefront character should be maintained.

13. Maintain the traditional spacing pattern created by upper story windows.

- Windows visible from public areas should reflect the rhythm, scale, and proportion of windows in the historic district.
- Headers and sills of windows on new buildings should maintain the traditional placement relative to cornices and belt courses.

We repeated the size and pattern of the existing 2nd story windows previously approved by the HPC during the review of the new building.

14. Maintain the distinction between the street level and the upper floor. N/A

- The first floor of the primary facade should be predominantly transparent glass.
- Upper floors should be perceived as being more opaque than the lower floor.
- Highly reflective or darkly tinted glass is inappropriate.
- Express the distinction in floor heights between street levels and upper levels through detailing, materials and fenestration. The presence of a belt course is an important feature in this relationship.

Non-Commercial



Photo (1): View of vacant lot where new building was built in 2020-21.



Photo (2): Current view of new building built in 2020-21 with renovated non-contributing building to left. The new addition will enclose the rooftop patio shown above the Biker and the Baker where the shade sails are shown.



Photo (3): Vacant portion of lot on G St. upon which the new building was built in 2020-21. This photo was taken from the Southwest corner of lot.



Photo (4): This photo shows the new building that we built on the vacant portion of the lot . Again, this photo was taken from the Southwest corner of the lot



Photo (5): This non-contributing building was renovated and incorporated into the new building project, which was built to the right on the vacant lot in 2020-2021.



Photo (6): Sackett Ave view of renovated non-contributing building on left and new building on right. Proposed enclosure in upper right where shade sails are shown



Photo (7); Current 'G' St. view of new building. The proposed enclosure for the rooftop patio is in the upper left where the tiki bar and the shade sails are shown.



Photo(8): Buildings on north side of W. Sackett Ave, across the street from proposed project.



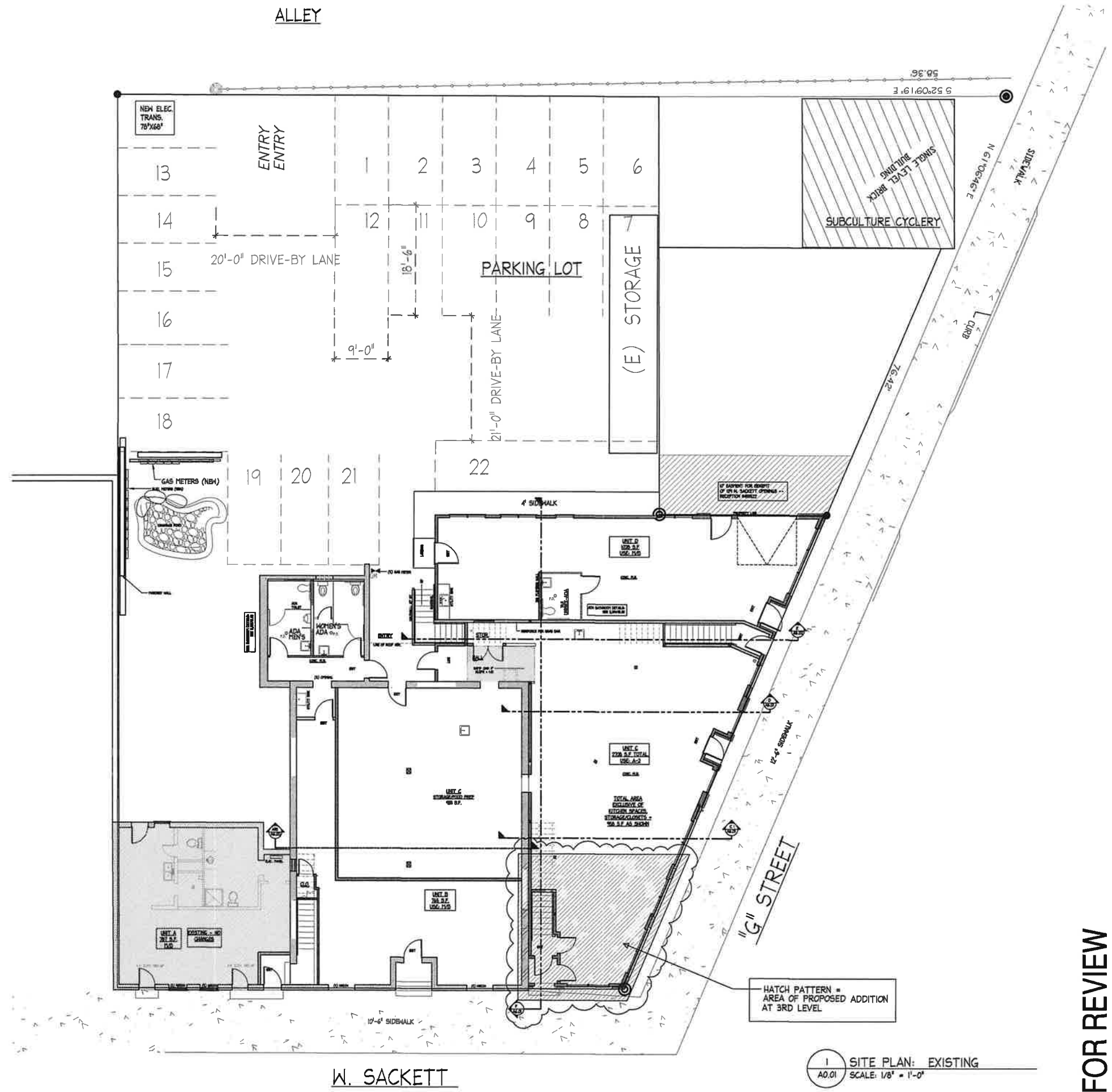
Photo (9): Looking west on Sackett.



Photo(10): Building on north side of W. Sackett Ave, across the street from proposed project.



Photo (10): Block Site Plan/aerial photo. Project building is identified by Sweeties Sandwich Shop.



FOR REVIEW

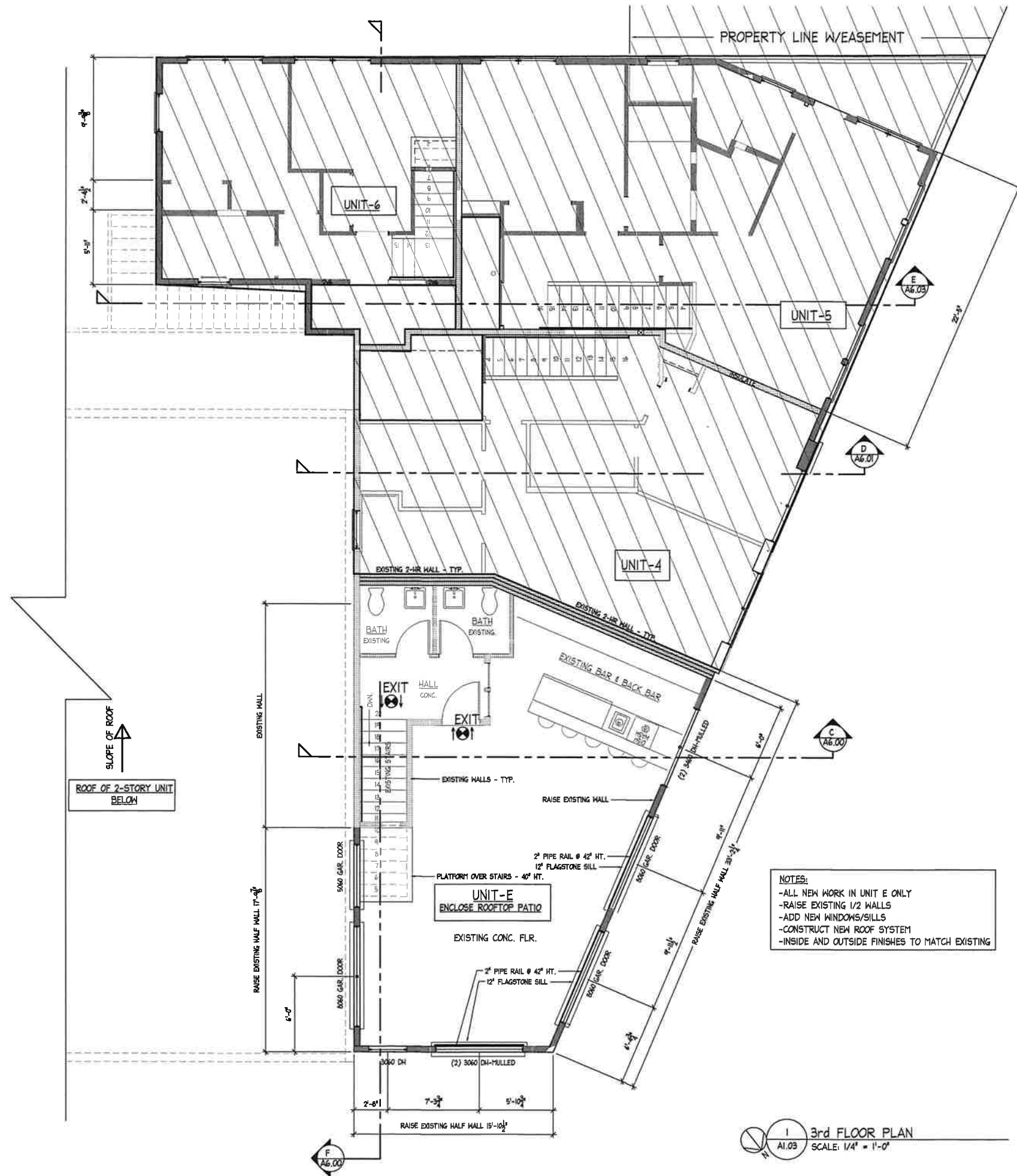
129 W. SACKETT
Salida, CO - Chaffee County

SITE PLAN: EXISTING

Scale: 1/8" = 1'-0"

Date:	9-1-25
Rev. 1	
Rev. 2	
DRAWN BY:	T. Pokorny
REVIEWED BY:	S. WHITTINGTON
Sheet	A0.01 (E)

1 SITE PLAN: EXISTING
A0.01 SCALE: 1/8" = 1'-0"



NOTES:
 -ALL NEW WORK IN UNIT E ONLY
 -RAISE EXISTING 1/2 WALLS
 -ADD NEW WINDOWS/SILLS
 -CONSTRUCT NEW ROOF SYSTEM
 -INSIDE AND OUTSIDE FINISHES TO MATCH EXISTING

1 3rd FLOOR PLAN
 A1.03 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION

129 W. SACKETT
 Salida, CO - Chaffee County

Third Floor Plan -
 Addition at Rooftop Deck- Unit E

Scale: 1/4" = 1'-0"

Date:
 10-1-25

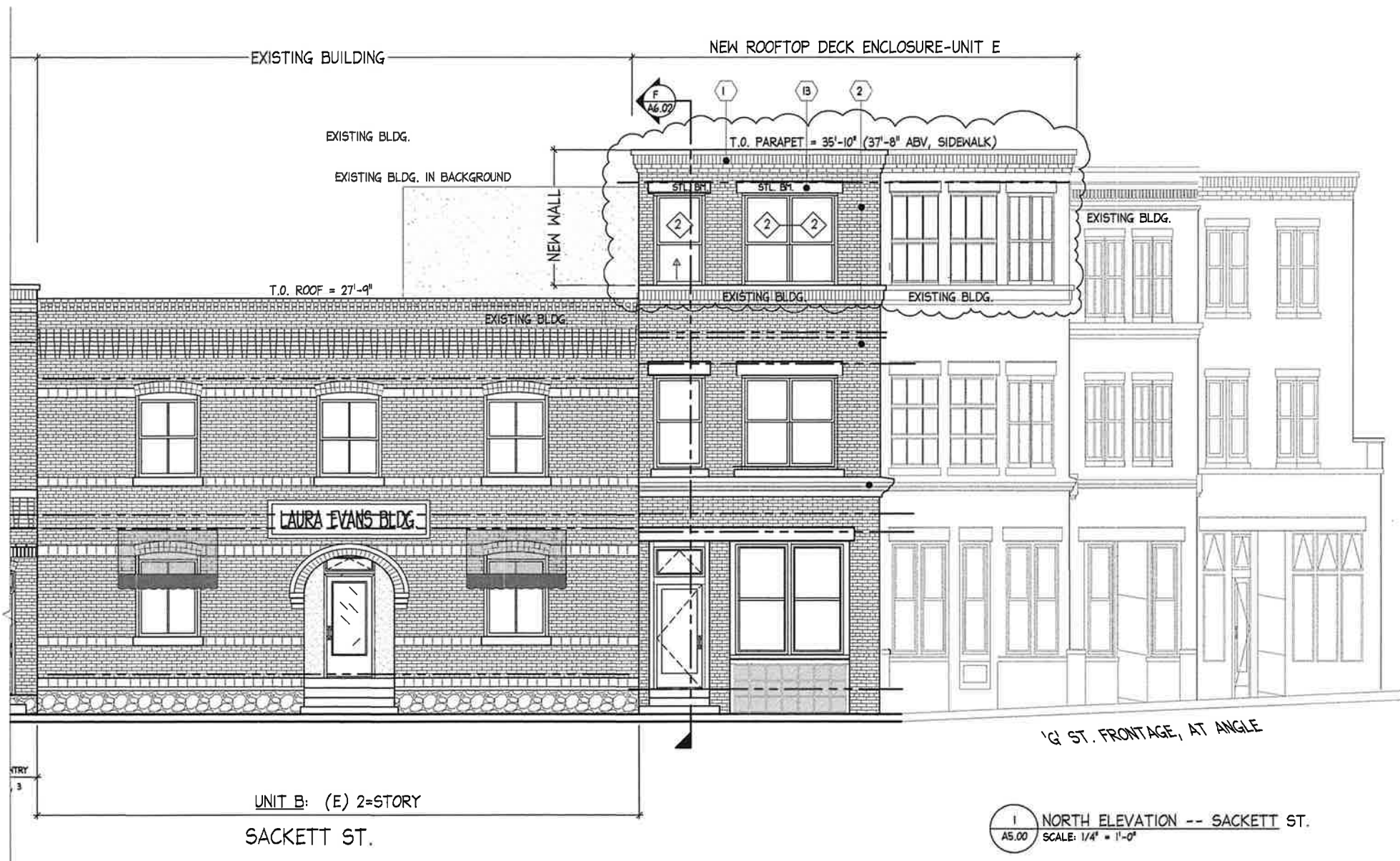
Rev. 1

Rev. 2

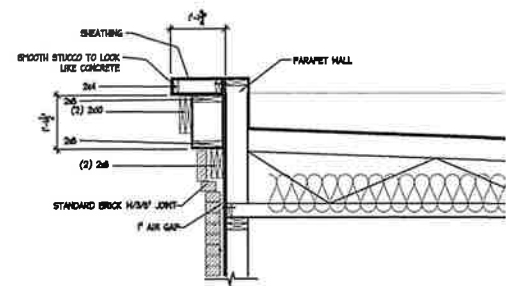
DRAWN BY:
 T. Pokorny

REVIEWED BY:
 S. WHITTINGTON

Sheet
 A1.03



1 NORTH ELEVATION -- SACKETT ST.
A5.00 SCALE: 1/4" = 1'-0"



3 PARAPET/CORNICE DETAIL
A5.00 SCALE: N.T.S.

KEYNOTES

- 1 ● CORNICE--BRICK (Old Larimer or Sonoma)-- (SEE 3/A5.00)
- 2 ● WALL -- BRICK VENEER (OLD LARIMER BRICK)
- 3 ● WALL -- BRICK VENEER (SONOMA BRICK)
- 4 ● FLAGSTONE LINTEL & SILL
- 5 ● TRANSITION TO NEW CONSTRUCTION ABOVE: SET BLDG BACK 6'
- 6 ● REMOVE (E) STUCCO, RESTORE BRICK (PREVIOUSLY APPROVED)
- 7 ● NEW AWNING (PREVIOUSLY APPROVED)
- 8 ● EXPOSE AND REPAIR FOUNDATION STONE (PREVIOUSLY APPROVED)
- 9 ● FLAGSTONE STEPS - NEW
- 10 ● 12" x 12" TILES
- 11 ● FLAGSTONE SILL
- 12 ● SMOOTH STUCCO
- 13 ● STEEL LINTEL
- 14 ● MID-BAND PROFILE: SEE 2/A5.02
- 15 ● COMMERCIAL GARAGE DOOR - ROLL UP
- 16 ● PANELED KICKPLATE: PAINTED WOOD
- 17 ● METAL RAIL: 42" HT. (MIN.)
- 18 ● STEEL BEAM -- PERGOLA
- 19 ● CONCRETE COLUMN BASE
- 20 ● SMOOTH STUCCO TO LOOK LIKE CONCRETE
- 21 ● ORNAMENTAL COLUMNS - PAINTED WOOD
- 22 ● STEEL LINTEL
- 23 ● MID-BAND PROFILE: SEE 2/A5.01
- 24 ● UPPER CORNICE: SEE 3/A5.02
- 25 ● AWNINGS: TBD. WILL RETURN TO HPC. MIN. HT = 8' CLEAR ABV. SIDEWALK
- 26 ● DENTILS OF UPPER CORNICE
- 27 ● BRICK LINTEL
- 28 ● MID-BAND PROFILE: SEE 2/A5.02
- 29 ● STEEL COLUMN & BEAM/LINTEL
- 30 ● MEMBRANE ROOFING
- 31 ● METAL ROOFING
- 32 ● 4" GAP FOR DECK DRAINAGE/4" CONC. DECK SLAB
- 33 ● STOREFRONT WINDOWS: ANNOXIDIZED ALUM. - DARK BRONZE
- 34 ● 2x6 FASCIA: FIBER CEMENT W/GUTTER
- 35 ● SCUPPER/DOWNSPOUT TO DRAIN
- 36 ● AWNING: COPPER ROOF SUPPORTED BY CORBELLS ABV. ORNAMENTAL COLS
- 37 ● STEEL BALCONY W/METAL RAILING

FOR CONSTRUCTION

129 W. SACKETT
Salida, CO - Chaffee County

ELEVATIONS
Addition at Rooftop Deck - Unit E

Scale: 1/4" = 1'-0"

Date:
10-1-25

Rev. 1

Rev. 2

DRAWN BY:
T. Pokorny
REVIEWED BY:
S. WHITTINGTON

Sheet
A5.00



1 'G' St. ELEVATION - Right (west)
A5.01 SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 ● CORNICE--BRICK (Old Laminer or Sonoma)-- (SEE 3/A5.00)
- 2 ● WALL -- BRICK VENEER (OLD LARIMER BRICK)
- 3 ● WALL -- BRICK VENEER (SONOMA BRICK)
- 4 ● FLAGSTONE LINTEL & SILL
- 5 ● TRANSITION TO NEW CONSTRUCTION ABOVE: SET BLDG BACK 6"
- 6 ● REMOVE (E) STUCCO, RESTORE BRICK (PREVIOUSLY APPROVED)
- 7 ● NEW AWNING (PREVIOUSLY APPROVED)
- 8 ● EXPOSE AND REPAIR FOUNDATION STONE (PREVIOUSLY APPROVED)
- 9 ● FLAGSTONE STEPS - NEW
- 10 ● 12" x 12" TILES
- 11 ● FLAGSTONE SILL
- 12 ● SMOOTH STUCCO
- 13 ● STEEL LINTEL
- 14 ● MID-BAND PROFILE: SEE 2/A5.00
- 15 ● COMMERCIAL GARAGE DOOR - ROLL UP
- 16 ● PANELED KICKPLATE: PAINTED WOOD
- 17 ● METAL RAIL: 42" HT. (MIN.)
- 18 ● STEEL BEAM -- PERGOLA
- 19 ● CONCRETE COLUMN BASE
- 20 ● SMOOTH STUCCO TO LOOK LIKE CONCRETE
- 21 ● ORNAMENTAL COLUMNS - PAINTED WOOD
- 22 ● STEEL LINTEL
- 23 ● MID-BAND PROFILE: SEE 2/A5.01
- 24 ● UPPER CORNICE: SEE 3/A5.02
- 25 ● AWNINGS: TBD. WILL RETURN TO HPC. MIN. HT = 8' CLEAR ABV. SIDEWALK
- 26 ● DENTILS OF UPPER CORNICE
- 27 ● BRICK LINTEL
- 28 ● MID-BAND PROFILE: SEE 2/A5.02
- 29 ● STEEL COLUMN & BEAM/LINTEL
- 30 ● MEMBRANE ROOFING
- 31 ● METAL ROOFING
- 32 ● 4" GAP FOR DECK DRAINAGE/4" CONC. DECK SLAB
- 33 ● STOREFRONT WINDOWS: ANNOXIDIZED ALUM. - DARK BRONZE
- 34 ● 2x8 FASCIA: FIBER CEMENT W/GUTTER
- 35 ● SCUPPER/DOWNSPOUT TO DRAIN
- 36 ● AWNING: COPPER ROOF SUPPORTED BY CORBELLS ABV. ORNAM"
- 37 ● STEEL BALCONY W/METAL RAILING

FOR HPC REVIEW

129 W. SACKETT, Unit E
Salida, CO - Chaffee County

ELEVATIONS - 'G' Street Elevation
Addition at Rooftop Deck - Unit E

Scale: 1/4" = 1'-0"

Date:	10-1-25
Rev. 1	
Rev.	
DRAWN BY:	T. Pokorny
REVIEWED BY:	S. WHITTINGTON
Sheet	A5.01

INTERNATIONAL ENERGY CONSERVATION CODE (2021)
COMMERCIAL AREAS - TABLE 402.1.3 BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES

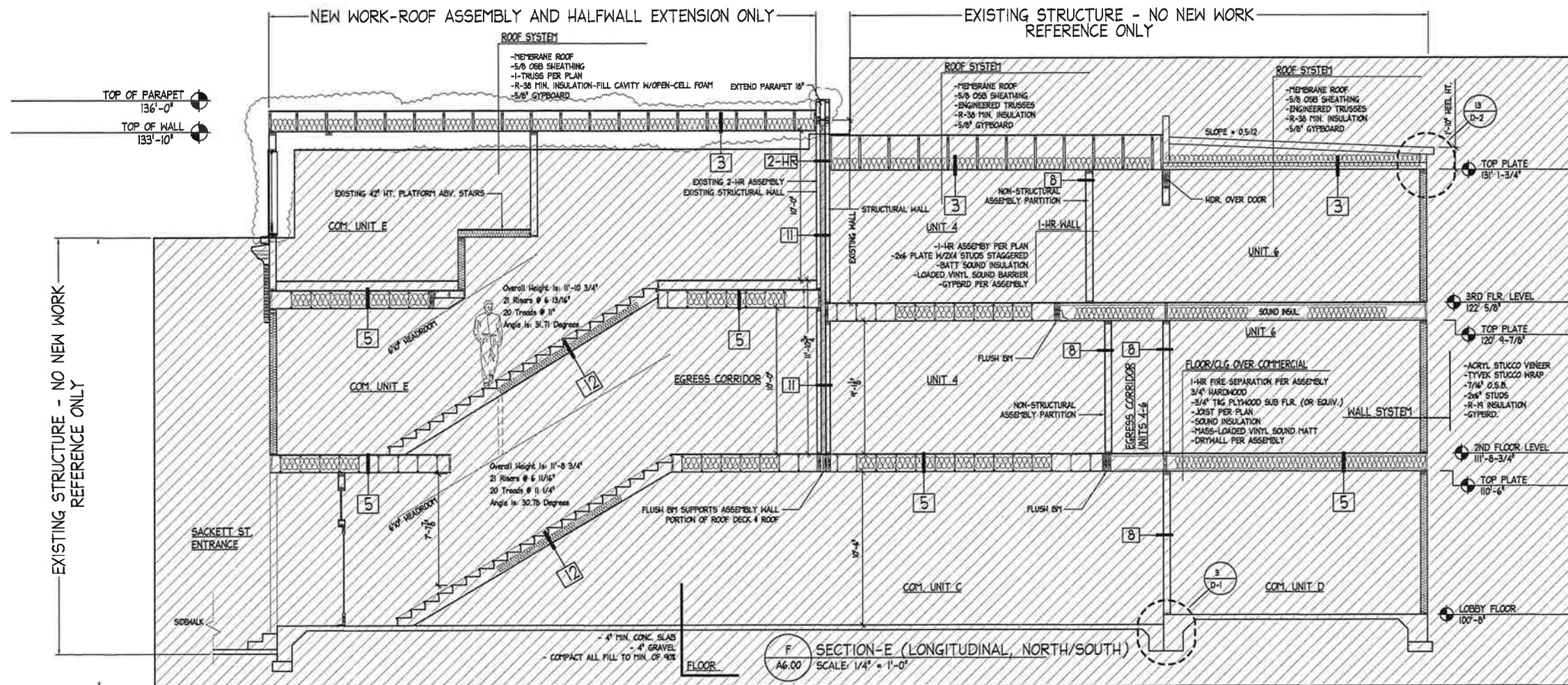
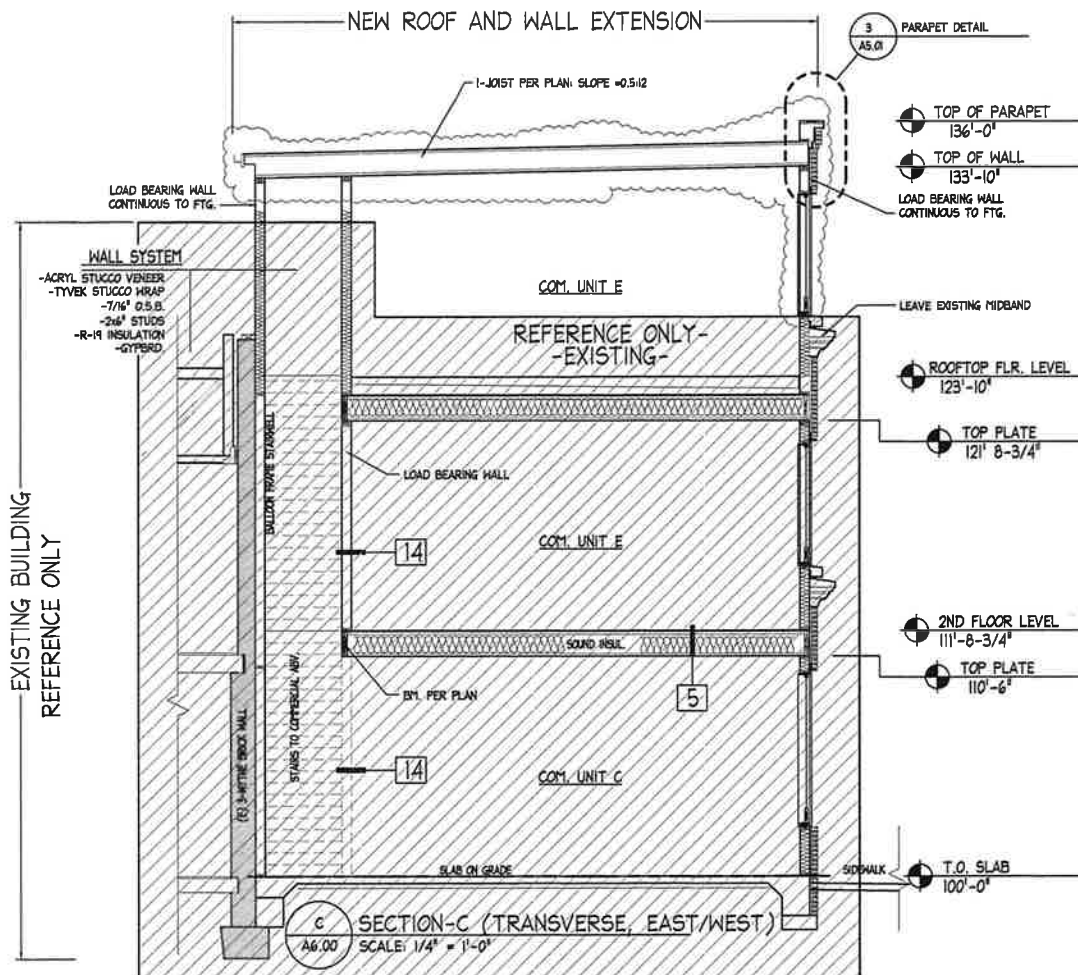
CLIMATE ZONE	ROOF W/ATTIC	WALLS, ABOVE GRADE WOOD FRAMED & OTHER	WALLS, BELOW GRADE	FLOORS JOIST FRAMING	SLAB ON GRADE FLOOR UNHEATED SLAB	OPAQUE DOORS	ROLL-UP OR SLIDING DOORS
6	IECC PROVIDED R-14 MIN. R-14 PROVIDED	R-10 + R1.5 @ MIN. R-20 PROVIDED	N/A N/A	N/A N/A	N/A N/A	SHINGLES: U-0.70 MIN. < 0.58 PROVIDED	U-0.50 MIN. U-0.50 PROVIDED

TABLE C402.4 FENESTRATION-U-FACTOR/SHGC

CLIMATE ZONE	U-FACTOR	
6	0.34	
FENESTRATION		
FIXED	U-FACTOR	
OPERABLE	U-FACTOR	
ENTRANCE DOORS		
	U-FACTOR	
SHGC		
	FIXED	OPERABLE
PF < 0.2	0.38	0.34
0.2 < PF < 0.5	0.46	0.41
PF > 0.5	0.41	0.34

WALL TAG LEGEND

- | | | | |
|---|-------------|----|--------------|
| 1 | SEE 1/A0.04 | 9 | SEE 9/A0.04 |
| 2 | SEE 2/A0.04 | 10 | SEE 10/A0.05 |
| 3 | SEE 3/A0.04 | 11 | SEE 11/A0.05 |
| 4 | SEE 4/A0.04 | 12 | SEE 12/A0.05 |
| 5 | SEE 5/A0.04 | 13 | SEE 12/A0.05 |
| 6 | SEE 6/A0.04 | 14 | SEE 14/A0.05 |
| 7 | SEE 7/A0.04 | 15 | NOT USED |
| 8 | SEE 8/A0.04 | 16 | NOT USED |

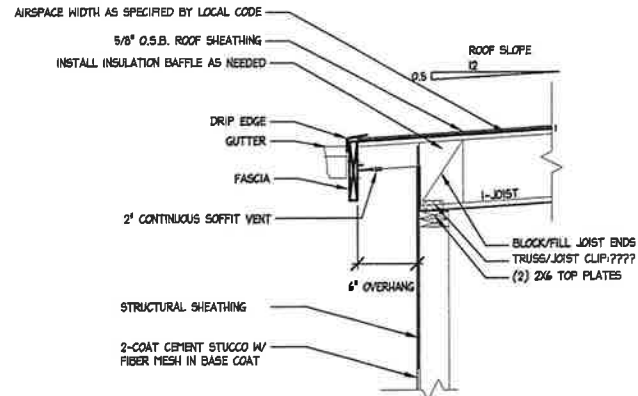


FOR CONSTRUCTION

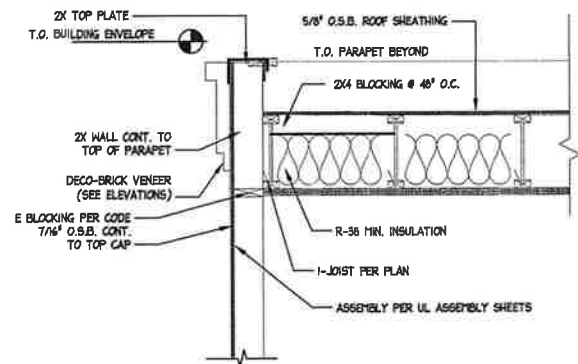
Sections: 129 W. SACKETT
New Addition at Rooftop Deck - Unit E
Salida, CO - Chaffee County

Date: 10-1-25
Rev. 1
Rev. 2
DRAWN BY: T. Pakorny
REVIEWED BY: S. WHITTINGTON
Sheet A6.00

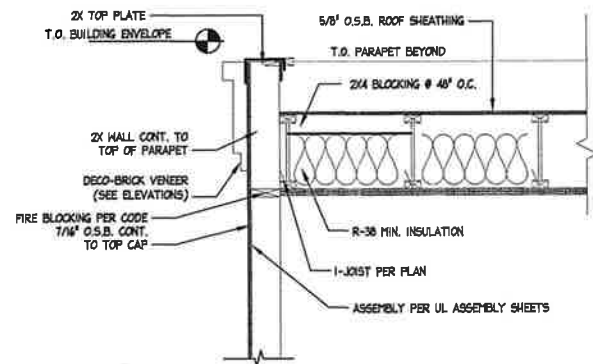
Scale: 1/4" = 1'-0"



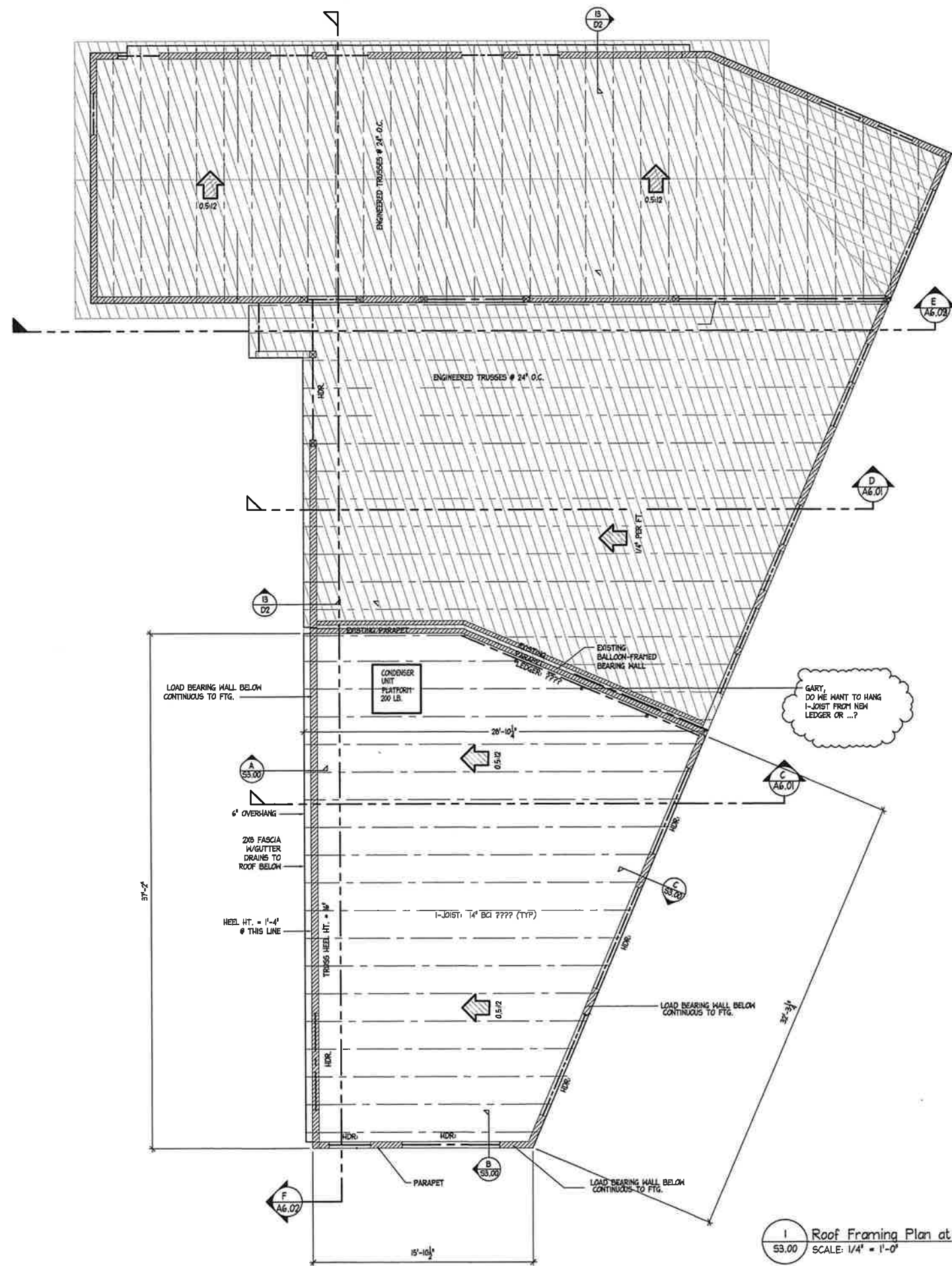
A EAVE OVERHANG - PERPENDICULAR
 S3.00 SCALE: 3/4" = 1'-0"



B TRUSS/RAFTER @ PARALLEL CONDITION
 S3.00 SCALE: 3/4" = 1'-0"



C OPTIONAL PARAPET/ROOF CONNECTION
 S3.00 SCALE: 3/4" = 1'-0"



I Roof Framing Plan at Addition
 S3.00 SCALE: 1/4" = 1'-0"

FOR REVIEW

129 W. SACKETT
 Salida, CO - Chaffee County

Roof Framing @ Addition - Unit E

Scale: 1/4" = 1'-0"

Date:	10-1-25
Rev. 1	
Rev. 2	
DRAWN BY:	T. Pokorny
REVIEWED BY:	G. BOLTE
Sheet	S3.00

COLORADO CULTURAL RESOURCE SURVEY

Architectural Inventory Form

Page 1 of 4

Date _____	Initials _____
_____	Determined Eligible-NR
_____	Determined Not Eligible-NR
_____	Determined Eligible-SR
_____	Determined Not Eligible-SR
_____	Need Data
_____	Contributes to Eligible NR District
_____	Noncontributing to Eligible NR District

I. IDENTIFICATION

- 1. **Resource Number:** 5CF406.77
- 2. **Temporary Resource Number:** 133
- 3. **County:** Chaffee
- 4. **City:** Salida
- 5. **Historic Building Name:** Laura Evans House, Victory Hotel
- 6. **Current Building Name:** Mon-Ark Shrine Club
- 7. **Building Address:** 129 W. Sackett Ave.
- 8. **Owner Name and Address:** Mon-Ark Shrine Club Holding Corp, 337 Ouray Ave., Salida, CO 81201

Parcel Number: 368132405375
SHF Grant Number: 2001-02-004

II. GEOGRAPHIC INFORMATION

9. **P.M.** N.M. **Township** 50N **Range** 9E
 1/4 1/4 SE 1/4 SE 1/4 **of Section** 32

10. **UTM Reference**
Zone 13 **Easting** 413612 **Northing** 4265693

11. **USGS Quad Name:** Salida East, Colo.
Year: 1994 **Map Scale:** 7.5' Attach photo copy of appropriate map section.

12. **Lot (s):** 7-10 **Block(s):** 5
Addition: Salida Original Townsite **Year of Addition:** 1880

13. **Boundary Description and Justification:**
 Boundary includes the building and the urban parcel on which it is situated.

III. ARCHITECTURAL DESCRIPTION

- 14. **Building Plan (footprint, shape):** Irregular
- 15. **Dimensions in Feet: Length** 87 **X Width** 83
- 16. **Stories:** 2
- 17. **Primary External Wall Material(s) (enter no more than two):**
Stucco
- 18. **Roof Configuration (enter no more than one):**
Flat
- 19. **Primary External Roof Material (enter no more than one):** Asphalt
- 20. **Special Features (enter all that apply):**
None
- 21. **General Architectural Description:**

Two-story stuccoed building with one-story wing to east. Flat roof stepped down toward rear. Façade has three segmental arched sash and transom windows with stuccoed sills and lintels on upper story. Transoms are Queen Anne style with colored glass lights. First story has inset round arched entrance with concrete steps and metal railing. Flush panel door and covered up transom. One-story wing has flush panel wood door with covered up transom. West wall of building has small round window toward front end.

22. **Architectural Style/Building Type:** No Style

23. **Landscaping or Special Setting Features:**

N/A

24. **Associated Buildings, Features, or Objects:**

None

IV. ARCHITECTURAL HISTORY

25. **Date of Construction:** Estimate 1898-1904 **Actual**

Source of Information: Sanborn ins. maps, 1898 & 1904

26. **Architect:** Unknown

Source of Information:

27. **Builder/Contractor:** Unknown

Source of Information:

28. **Original Owner:** Unknown

Source of Information:

29. **Construction History (include description and dates of major additions, alterations, or demolitions):**

This building was originally a rectangle with small open porches on the west and south. Between 1904 and 1909, the rear porch was removed and a one-story rear addition was built that projected beyond the west wall of the main building; it had an open porch on its east wall. A two-unit one-story building was built a short distance to the east between 1904 and 1909; between 1909 and 1914 a small connector linked the main building to the building to the east. Between 1929 and 1945, one-story additions were constructed on the west and at the southeast. The building was heavily stuccoed and a complete connection with the east building was accomplished at some point between the late 1930s and 1960.

30. **Original Location:** Yes **Date of Moves**

V. HISTORICAL ASSOCIATIONS

31. **Original Use(s):** Commerce and Trade/Business/Brothel

32. **Intermediate Use(s)** Domestic/Hotel

33. **Current Use(s):** Social/Clubhouse

34. **Site Type(s):** Bordello, Hotel, Fraternal Lodge

35. **Historical Background:**

The main part of this building was erected between 1898 and 1904 while the eastern portion dates to 1904-09, according to Sanborn fire insurance maps. The 1943 year of construction reported by the Assessor is not correct. The 1904 Sanborn map identifies this building as "female boarding," a Sanborn Map Company euphemism for a place of prostitution. The 1909 and 1914 maps show the same use. Although the 1929 Sanborn labels the building as a dwelling and the 1945 map shows it as the "Victory Hotel," by most accounts the buildings continued to function as a place of prostitution. The block of W. Sackett Avenue (then known as W. Front Street) was the town's Red Light District and contained a number of houses of prostitution. Railroad workers and travelers provided a large client base for the district.

Mildred Bommer was the head of this house in 1905-06. Salida's most famous madam, Laura Evans, lived here for many years. According to an account in *One Hundred Years in the Heart of the Rockies*, Ms. Evans married young, deserted her family, changed her name, and became a prostitute. She came west to Denver's Market Street and spent three years in Leadville, before settling in Salida in the late 1890s. In 1905 she operated a bordello in the building at 113 W. Sackett Avenue. She opened this parlor house in about 1910 on W. Sackett Avenue. This building is visible on 1926 and late 1930s overview photographs of Salida taken from Tenderfoot Hill. In about 1906, Evans acquired a row of cribs across the street (130 W. Sackett Avenue). She continued to operate her business until 1950, when the local District Attorney finally forced her to close.

Accounts of Laura Evans's life in Salida are replete with numerous good works. During the influenza epidemic of

1918, she reportedly suspended operations and provided rooms for the sick and sent her girls to aid in nursing flu victims. During the Depression, food baskets and coal were provided to needy families. Abused women were given shelter. One Salida politician remarked: "I doubt if anybody will ever know how many people Laura helped. She was an entire Department of Social Services long before there was such a thing."

At the time of the 1920 Census, she reported her age as forty-seven and stated that she was a native of Alabama. She listed her occupation as the keeper of a lodging house. Her "lodgers" included seven women in their twenties and thirties and a sixty-one year old African-American cook.

After her house was closed down in 1950, she rented rooms to railroad workers. Ms. Evans died in this house on 6 April 1953. Her family offered to donate the property to church and civic organizations, and the Mon-Ark Shrine Club eventually acquired the building. The organization still occupies it.

36. Sources of Information:

Chaffee County Assessor records; Salida City Directories; Sanborn Insurance Maps; Cynthia Pasquale, One Hundred Years in the Heart of the Rockies (Salida: Arkansas Valley Pub. Co., 1980), 91-94; Eleanor Fry, Salida: the Early Years (Salida: Arkansas Valley Pub. Co., 2001), 220-21; U.S. Census Bureau, Census of Population, 1920, manuscript returns, Chaffee County, Colorado, enumeration district 9; Russ Collman, ed., Trails Among the Columbine (Denver: Sundance Publications, 1992), 246-47 (photo) and 264-65 (photo)..

VI. SIGNIFICANCE

37. Local Landmark Designation: No Date of Designation:

Designating Authority:

38. Applicable National Register Criteria:

- A. Associated with events that have made a significant contribution to the broad pattern of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- D. Has yielded, or may be likely to yield, information important to history or prehistory.

Qualifies under Criteria Considerations A through G (See Manual).

X Does not meet any of the above National Register criteria.

39. Area(s) of Significance:

40. Period of Significance:

41. Level of Significance:

42. Statement of Significance:

This building is associated with the history of prostitution in Salida, and most notably as the home of the city's most famous madam, Laura Evans. Alterations to the building have diminished its architectural significance.

43. Assessment of Historic Physical Integrity Related to Significance:

The building has been covered with a heavy coat of stucco, which has covered up many of its architectural features. It retains sash and transom windows on the upper story and a small round window on the west wall.

VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

44. National Register Field Eligibility Assessment: Not eligible

45. Is there National Register district potential? Discuss. N/A

This building is located within the Salida Downtown Historic District.

If there is NRHP district potential, indicate contributing status: N/A

46. If the building is in an existing NRHP district, indicate contributing status: Noncontributing

VIII. RECORDING INFORMATION

47. Photographic Reference(s): 3: 6, 8, 10, 12.

Negatives Filed At: City of Salida

Photographer: Roger Whitacre

48. Report Title: Downtown Salida Historic Buildings Survey, 2001-02

Resource Number: 5CF406.77

Temporary Resource Number: 133

49. Date(s): September 2002

50. Recorder(s): R.L. Simmons/T.H. Simmons

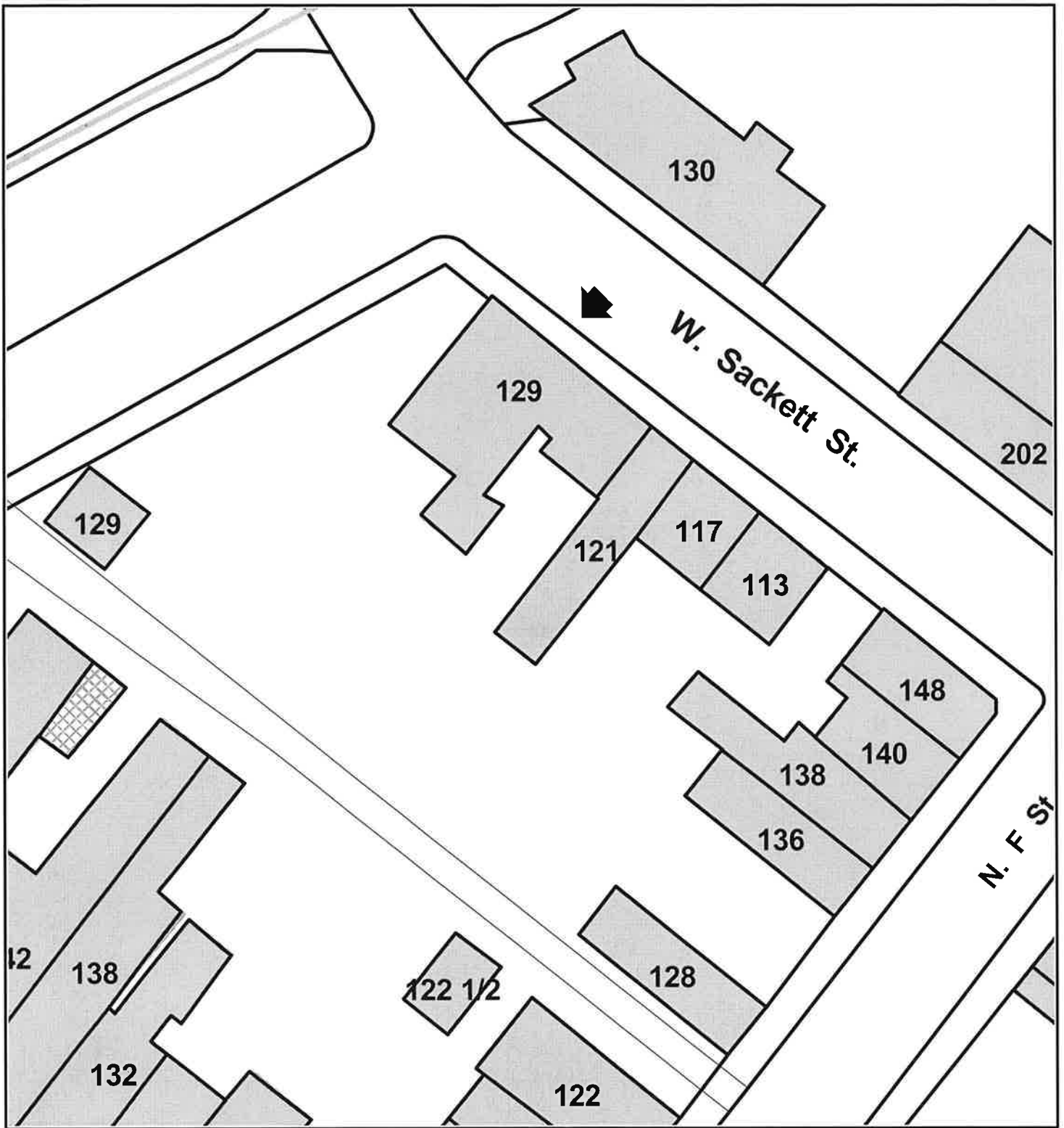
51. Organization: Front Range Research Associates, Inc.

52. Address: 3635 W. 46th Ave.

53. Phone Number(s): (303) 477-7597

NOTE: Please attach a sketch map, a photocopy of the USGS quad map indicating the resource's location, and photographs.

Colorado Historical Society-Office of Archaeology and Historic Preservation
1300 Broadway, Denver, Colorado 80203 (303) 866-3395

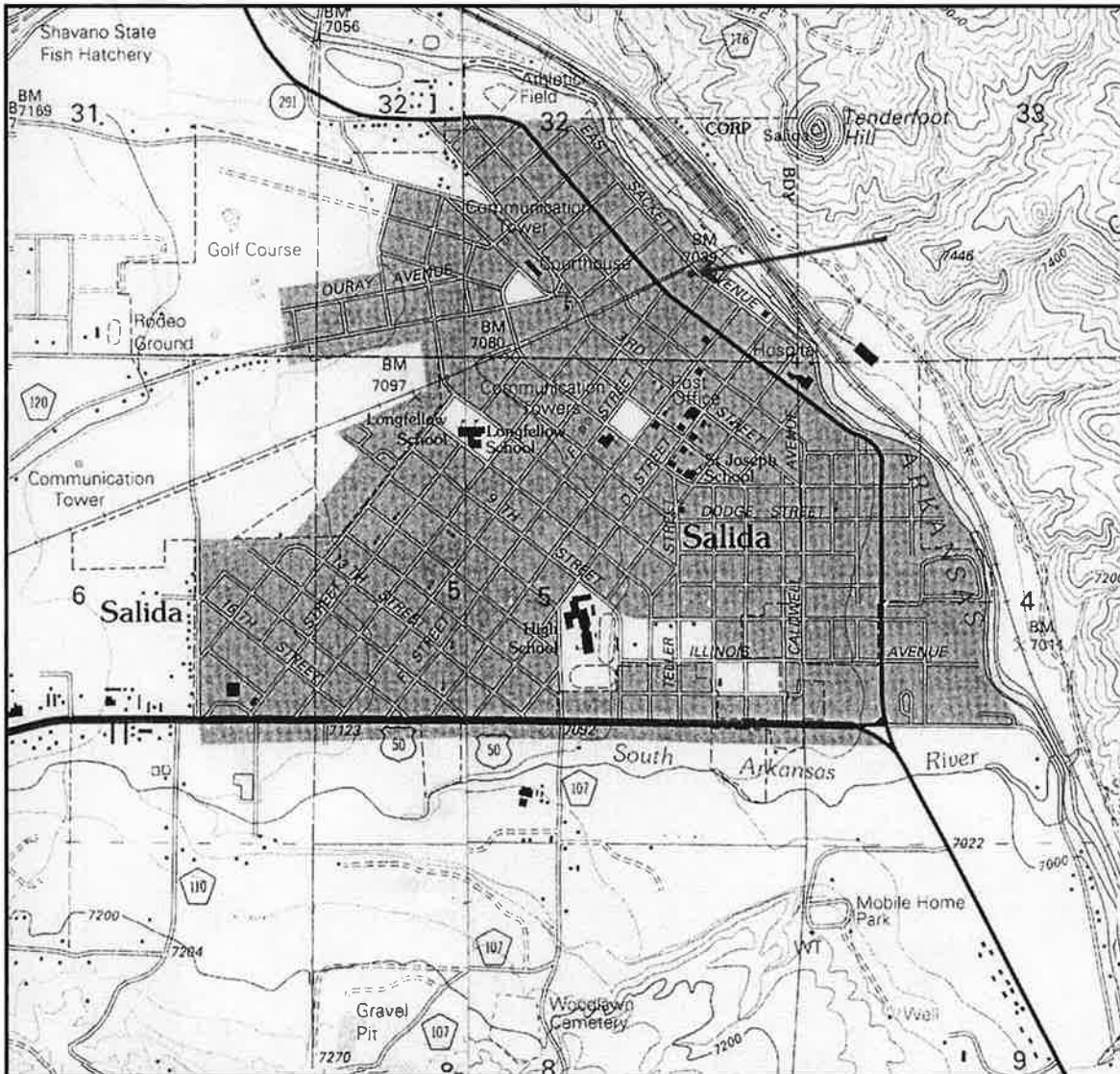


129 W. Sackett Avenue, 5CF406.77



**Downtown Salida Historic Buildings Survey, 2001-02
USGS Location Map**

129 W Sackett St, 5CF406.77



Mosaic of extracts from U.S. Geological Survey, "Salida East, Colo.," and "Salida West, Colo.," (Denver, Colo.: U.S. Geological Survey, 1994).



HISTORIC DISTRICT COMMISSION STAFF REPORT

MEETING DATE: November 13, 2025

AGENDA ITEM TITLE: 228 North F Street - Major Certificate of Approval Request for Second Story Enclosed Patio Addition and Associated Alterations

AGENDA SECTION: Public Hearing

REQUEST: The request is to receive a Major Certificate of Approval for a second story addition and alterations to the Manhattan Hotel building located at 228 North F Street

APPLICANT: The applicant is Kitson Holdings, LLC

LOCATION:

The legal description for the property is PT SE4SE4 32-50-9 HAVING 156' FRONTAGE ON F ST B528 P699 & 701, Salida, Chaffee County, Colorado. The property is also known as The Manhattan Hotel and Boathouse Cantina.



PROCESS - Sec. 16-12-80

No building permit for work or activity requiring a certificate of approval shall be valid or issued by the Building Official absent the receipt by the official of the necessary certificate of approval (CA). Conversely, the issuance of a CA shall not relieve an applicant from having to obtain any and all other permits or approvals for the subject work or activity as may be required under the City's zoning, subdivision, building or other life/safety codes.

Certificates of approval may be made subject to such terms, conditions or limitations as determined necessary to protect and preserve the structural, aesthetic and/or historic integrity and value of the building, structure or site to which it pertains. A CA shall not constitute a site-specific development plan or vested property right and, unless acted upon in a substantial fashion or otherwise specifically authorized and provided for in the permit, shall automatically expire one (1) year from its date of issuance, unless extended by order of the Historic Preservation Commission.

An application regarding major activity shall be reviewed and ruled upon by the HPC at a regular or special meeting to be conducted within thirty-one (31) days from the date the application was determined complete, or within such longer time period as necessary to reasonably accommodate the application on an HPC meeting agenda. The unexcused absence of the applicant from the meeting shall cause the HPC to deny the application or, at the HPC's option, continue the matter to a later meeting date of its choosing.

OBSERVATIONS

1. The subject property is located within the Salida Downtown Historic District (“SDHD”), the Central Business (C-2) zone district (MD – Mixed-use Downtown in the newly adopted land use code) and the Central Business Economic Overlay (“CBEO”). Note: the CBEO overlay has been eliminated in the new code. Limitations on Ground Floor Uses are defined under Sec. 16-2-50 (e).
2. The Manhattan Hotel is individually listed on the National Register of Historic Places in addition to being a contributing structure of the SDHD. Sec. 16-12-90 states, “All work performed in completion of an approved certificate of approval shall be in conformance with the most recent edition of the Secretary of Interior's *Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings.*” NRHP Nomination Form: https://npgallery.nps.gov/NRHP/GetAsset/NRHP/83001302_text
3. The application calls for a 2400 SF second floor patio addition and alterations with interior renovations. (Note: interior work is not under the purview of the HPC as part of the SDHD unless it affects the exterior.)
4. The applicant has included a narrative, photographs, site plan, floorplans, and elevations describing the proposed addition (see attached Application Materials). The addition will be visible from F Street, G Street, Sackett Avenue, the boat ramp, Salida River Trail and Riverside Park, along the river, and from the pedestrian walkway.
5. There has been a progression of additions and alterations to the building since 2008, which have received HPC approval. (See below.)





6. Proposed Elevations illustrate consistency with previous additions.



REVIEW STANDARDS - Sec. 16-12-90

- (a) **Historic Landmark and/or Contributing Buildings, Structures or Sites.** All work performed in completion of an approved certificate of approval shall be in conformance with the most recent edition of the Secretary of Interior's *Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, published by the U.S. Department of the Interior, National Park Service. (See A. below.)
- (b) **Supplemental Guidelines.** The Administrator or his or her designee with advice from the HPC may, subject to final approval by the City Council, devise, adopt, publish and implement design guidelines to supplement the criteria set forth in this Section for the review, evaluation and approval of certificates of approval. Upon their approval by the City Council, said guidelines shall be enforced and have the same effect and authority as if fully set forth in this Section, and violations thereof shall be subject to the same penalties for violations of any other section contained in this Article. Refer to the city's *Design Guidelines for the Salida Downtown Historic District*. In addition, the following minimum criteria will be applied in reviewing and evaluating an application for a CA with respect to a historic landmark or contributing building, structure or site:

A. Secretary of Interior Standards for Rehabilitation (as applicable in reference to exterior alterations including additions)

1. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
2. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
3. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
4. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
5. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
6. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

- These basic requirements have been adhered to.

B. Contributing Building Review Criteria

- (1) *Architectural Character. Whether and to what extent the proposed work will preserve, protect, change, diminish, disguise, obscure, detract from or destroy the appearance or structural integrity of the historic features, design, materials, character or value of the structure or site.*

The original Manhattan Hotel building is an example of early 20th century commercial architecture of primarily brick masonry construction. Unique features of the structure as outlined in the NRHP form include a “castle-like” medieval image, with double-hung bays separated by pilasters capped with turret-like projections. It features detailed, latticework brick patterns and rose windows (at some point enclosed with brick) and recessed entrances typical of late-19th and early 20th century commercial architecture with large display windows framed by a metal lintel and posts accented by cut stone.



1982 photo by Greg Cole as submitted with the NHRP Nomination Form

- The building has undergone several alterations, including a major addition on the south side of the building. A number of Certificates of Approval have been issued over the past 17 years.
- The river-facing elevation of the building has been significantly altered with the removal of the arched windows and addition of the existing covered patio area. The castle turret features remain, however the rose window facing the river was filled in with brick at some point.
- Awnings have become a standard addition to the storefronts on many of the SDHD buildings along F Street and the awnings on both the east and south facing facades were previously approved by the HPC. The upper patio pergola was also approved on the west side.
- The general scale and use of large windows and thin painted metal columns is reflective of the historic commercial storefront as well as the “industrial” theme of the nearby Steamplant building and is compatible with the district. (See below.)



- (2) Original Materials. Whether original designs, materials, finishes and construction techniques that characterize the historic value and appearance of a structure or site can be retained, restored or repaired as opposed to replaced, and whether replacement designs, materials or finishes can match and/or accurately replicate the originals.
- The original brick masonry and detailing has been well-preserved.
- (3) *Minimum Change. Whether and/or to what extent the proposed work will require more than a minimal change to the historic appearance, materials or integrity of the structure or site.*
- As indicated, the building has undergone several alterations. The second floor addition facing the river will detract somewhat from the brick detailing along the parapet, making it less visible. From the elevations, the two chimneys on the south facade were apparently removed at some point. The current cladding installed in 2018 is over the metal pipe furthest to the west is in the location of the second chimney. From this 2008 photo, it appears that these two chimneys were at least partially still intact but may have been in poor condition and possibly removed for safety reasons.



- (4) *New Construction. New additions, exterior alterations and related work shall not destroy or detract from the existing historic structure and materials to the maximum extent feasible, and such new work or alterations shall be differentiated from, but compatible with, the existing size, scale and exterior architectural features of the structure or site so as to protect its historic identity and integrity.*

- These requirements appear to have been adhered to. The addition will be differentiated from the original Manhattan Hotel building and will feature brick masonry and metal rails and window frames painted to match metal work on the original building. The elevation drawing on page 5 indicates the proposed brick masonry will match the existing reddish-brown color on the previous 2019 addition, which is similar to the original Manhattan Hotel building.



- (5) *Historic Appearance. Work that will protect or return the original historic appearance of a structure or site, especially where documented by photographs, historic research or other credible evidence, shall be encouraged and favored.*
- Not applicable in this case. This is not a restoration project.
- (6) *Work Necessary. Whether the proposed work is required or necessary to comply with a building, fire or other health/safety code.*
- Does not appear to be applicable unless the applicant wished to convey additional information.

C. SDHD Design Guidelines (key elements as applicable)

Additions

Policy: An addition adjacent to the existing building with zero or equal front setback. The addition should provide a visual distinction from the existing structure.

Guidelines:

1. The addition should be compatible in scale, materials, and character with the main building and the district, but remain subordinate to the main structure.
2. The addition should not damage or obscure architecturally important features, such as cornice lines and parapets.

Commercial Buildings

Policy: Preserve similar patterns and sizes of features.

Guidelines:

1. Maintain average perceived size of buildings at the sidewalk. Respect the scale of neighboring historic buildings. Preserve floor-to-floor heights.
2. Maintain traditional spacing patterns and bays.

3. Use rectangular forms and flat roof lines.
4. Maintain horizontal alignments of windows, cornices, copings, etc.

These guidelines have been generally adhered to.

RECOMMENDED FINDINGS

The purpose of the Certificate of Approval is to determine and document compliance of the application with the review standards contained in Section 16-12-90.

The proposed second story enclosed patio addition as proposed meets the Certificate of Approval Review Standards for a contributing building per Sec. 16-12-90 (a), including the Secretary of Interior Standards and as supplemented by the [*Design Guidelines for the Salida Downtown Historic District*](#) as it will not significantly alter or detract from the original historic Manhattan Hotel building and is compatible with the existing character and defining features of the previously approved patio additions and with the overall historic features of the district.

RECOMMENDED ACTION

Based upon the observations, review standards, and findings outlined above, staff recommends the following the Historic Preservation Commission authorize the issuance of a Major Certificate of Approval for the second floor enclosed patio addition and associated alterations at 228 North F Street in accordance with the plans submitted with the application subject to the following conditions:

1. The applicant shall meet all other provisions of the Salida Municipal Code and shall obtain all required city and county building permits.
2. Prior to issuance of a Certificate of Occupancy, the applicant shall contact staff for inspection and approval of the work by staff together with at least one member of the HPC. Any work not in compliance with the approved plans is subject to review by the HPC.
3. Other conditions as recommended by the HPC board.

RECOMMENDED MOTION

I move to authorize the issuance of a Certificate of Approval for the second story enclosed patio addition and associated alterations at 228 North F Street in accordance with the plans submitted with the application with the following conditions:

1. The applicant shall obtain all required city and county building permits.
2. Prior to issuance of a Certificate of Occupancy, the applicant shall contact staff for inspection and approval of the work by staff together with at least one member of the HPC. Any work not in compliance with the approved plans is subject to review by the HPC.
3. Other conditions as recommended by the HPC board.

Attachments: Application Materials, Elevations, Floor Plans, Sections and Architectural Inventory Form



GENERAL DEVELOPMENT APPLICATION

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-539-4555 Fax: 719-539-5271
Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

- | | |
|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Administrative Review:
(Type) _____ |
| <input type="checkbox"/> Pre-Annexation Agreement | |
| <input type="checkbox"/> Appeal Application (Interpretation) | <input type="checkbox"/> Limited Impact Review:
(Type) _____ |
| <input checked="" type="checkbox"/> Certificate of Approval | <input checked="" type="checkbox"/> Major Impact Review:
(Type) <u>NEW CONSTRUCTION (ADDITION)</u> |
| <input type="checkbox"/> Creative Sign Permit | |
| <input type="checkbox"/> Historic Landmark/District | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> License to Encroach | |
| <input type="checkbox"/> Text Amendment to Land Use Code | |
| <input type="checkbox"/> Watershed Protection Permit | |
| <input type="checkbox"/> Conditional Use | |

2. GENERAL DATA (To be completed by the applicant)

A. Applicant Information

Name of Applicant: KITSON HOLDINGS LLC

Mailing Address: 228 N. F STREET SALIDA, CO 81201

Telephone Number: 720-569-1348 FAX: _____

Email Address: asmith@boathouse.salida.com

Power of Attorney/ Authorized Representative: _____
(Provide a letter authorizing agent to represent you, include representative's name, street and mailing address, telephone number, and FAX)

B. Site Data

Name of Development: _____

Street Address: 228 N. F. STREET SALIDA, CO

Legal Description: Lot _____ Block _____ Subdivision _____ (attach description) PT ATTACHED
PT SE4 SE4 32-50-9 HAVING 150' FRONTAGE ON F STREET

Disclosure of Ownership: List all owners' names, mortgages, liens, easements, judgments, contracts and agreements that run with the land. (May be in the form of a current certificate from a title insurance company, deed, ownership and encumbrance report, attorney's opinion, or other documentation acceptable to the City Attorney)
B528 P699 & 701 REC 331214 450089CA

I certify that I have read the application form and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Signature of applicant/agent _____ Date _____

Signature of property owner [Signature] _____ Date _____



**CERTIFICATE OF APPROVAL
APPLICATION**

448 East First Street, Suite 112
Salida, CO 81201

Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

A. Type

1. **Minor Activity** - means or includes:

- a. The replacement of surface materials such as roofing or siding or an exterior architectural feature with materials and design substantially similar to the existing materials or design;
- b. The installation, removal or replacement of a fence, awning, roofing material or dumpster enclosure;
- c. The reuse of an existing window or door opening which has been covered or filled through installation of a replica of a historic door or glazing;
- d. Those activities deemed to not detrimentally impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be minor upon petition to and determination by the Administrator or his or her designee.

2. **Major Activity** - means and includes:

- a. An activity not defined or qualifying as an insubstantial or minor activity, including, but not limited to, reconstruction, rehabilitation, remodeling, renovation, relocation or demolition;
- b. Alterations, additions or other work performed on a building, structure or site that result in the increase or decrease of site coverage, floor area or exterior wall or roof surface;
- c. The installation, alteration or removal of a window or door opening;
- d. The replacement or repair of surface materials such as roofing or siding or an exterior architectural feature with materials or design not substantially similar to the existing materials or design;
- e. The cleaning of an exterior surface of a contributing or landmark building or structure by sandblasting, high-pressure spraying or other chemical or mechanical means;
- f. Application of sealant, paint, stucco, texture or other material that would conceal, alter or damage the exterior of any contributing or landmark building with an existing unfinished or unpainted brick, masonry or other unfinished siding or structural element;
- g. Those activities deemed to potentially impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be major upon petition to and determination by the Administrator or his or her designee.

2. PROCEDURE (City Code Section 16-12-80)

A. Development Process

- 1. Pre-Application Conference. Optional.
- 2. Submit Application.
- 3. Staff Review. Determination of Minor or Major Activity.
 - a) Minor Activity. Administrative Review.
 - b) Major Activity. Applicant Notice and Administrative review with advice from HPC.

STAFF USE ONLY

Application received by: T.S. / [Signature] Date/Time: 2:00 pm 9/22/25
 Code: _____ Project Name: Posthouse 2nd fl File Name: _____
 Fee: \$300 Receipt #: 20250922 Check #: 32035

3. APPLICATION CONTENTS (City Code Section 16-12-80(b)(2))

A. All Projects, 7 copies of all materials are required for major applications, 2 for minor:

- 1) **General Development Application.**
- 2) **Photographs.** All applications shall be accompanied by photographs reasonably and accurately depicting the current status of the building, structure or site, or that portion thereof, subject to the application. Include photographs showing all sides of the structure, particularly the front and any side affected by the proposed project and detailed photographs of the features affected by the project.
- 3) **Drawing Format.** Drawings shall be large enough so that all information is legible but no smaller than 11" x 17". Sketch drawings are acceptable if they provide accurate information and are reasonable drawn to scale.
- 4) **Dimensioned Site Plan.** Site plan showing street locations, existing structure and proposed new elements or structures.
- 5) **Dimensioned Floor Plan(s).** Floor plans showing existing structures and proposed new elements or structures.
- 6) **Dimensioned Roof Plan.** Roof plan showing proposed new roof elements in context of the existing roof.
- 7) **Dimensioned Exterior Elevations.** Exterior elevations showing appearance of proposed project with all materials and indicating finishes.
- 8) **Building Sections and Construction Details.** Sections and details as required adequately explaining and clarifying the project. Note all materials and finishes.
- 9) **Specification of Materials.** Manufacturer's product literature and material samples. Product literature is required for replacement windows.
- 10) **Bids.** If proposing to replace existing historic materials or features with replicas rather than repair or restore, firm bids must be provided for both restoration and replication.
- 11) **Window Replacement.** If proposing to replace historic windows (aside from wooden replica sash replacement) justification shall be provided as outlined in National Park Service Preservation Brief #9. Submittal must include written assessment of condition of existing windows.
- 12) **New Construction** shall include the following information:
 - a. **Block Site Plan.** A site plan or aerial photograph showing relationship of proposed structure to existing structures.
 - b. **Written Statement.** A written statement of the design philosophy and building program.
 - c. **Massing Model.** A massing model illustrating the relationship between the new structure(s) and existing building(s) on the project site and adjacent lots.
 - d. **Photographs.** Photographs of the surrounding structures including both block faces and side streets.
- 13) **Demolition or relocation** of a building, structure or site shall include the following:
 - a. A detailed description of the reasons supporting or justifying the proposed demolition or relocation, including a delineation and explanation of all economic data where economic hardship or other economic cause is given as a reason for the proposed demolition or relocation.
 - b. A detailed development or redevelopment plan for the demolition and/or receiving relocation site and a schedule for completion of the work.
 - c. Elevations, building sections, construction details, specifications and massing model of proposed replacement structure similar to those required for new construction.
 - d. For landmark or contributing structures the applicant must submit a report prepared by an architect, appraiser, engineer or other qualified person experienced in the rehabilitation, renovation and/or restoration of historic buildings, structures or sites addressing:
 - i) The structural soundness of the building, structure or site and its suitability for rehabilitation, renovation, restoration or relocation.
 - ii) The economic and structural/engineering feasibility of the rehabilitation, renovation and/or restoration of the building, structure or site at its current location.
 - iii) The economic and structural/engineering feasibility of relocating the building, structure or site.
- 14) **Application Fee.** \$50.00 for a Minor Activity, \$100 for a Major Activity. Cash or check made out to City of Salida.



Steven James Riden A.I.A. Architect P.C.

6849 US Highway 50

Howard, Colorado

970-389-0150 mobile

steve@riden1.com

Letter of narration to the City of Salida requested as part of the Certificate of Approval Application.

The Historic Manhattan Riverside Venue,

Members of the committee and staff,

The proposal before you is a project designed to construct a new venue at the place known to many as the "Boathouse".

What is being proposed is an addition to the structure that surrounds the Manhattan hotel building which is now a semi-permanent space serving as a bar and restaurant. The addition will be directly above the existing floor space without any more utilization of site area.

This level is to match the level of the existing second floor of the Manhattan Hotel. The current 5 hotel rooms are to be converted to open space, and together with the addition, serve as a new event space. This new space will be accessed via a stair and elevator.

At present there exists what amounts to a series of additions in this part of the property, each somewhat different from the other and in need of improvement.

This is to be accomplished by providing a new structure that is esthetically consistent, energy efficient and accessible. The project intends to tie the entire property together by making use of the identical materials and pertinent details produced in the 2019 addition on the south side of the existing structure.

The image has been adopted from early factory shops constructed throughout the early 20th century like what we have found in the railyards of Colorado and New Mexico and the west. Many of which have been converted and added too. Particularly the use of tall glass filled openings that provide natural light deep into the space when artificial light sources were inadequate.

It is our intention to compliment the historic area with sensitive additions, not making a false copy, but only suggest a tie to the past.

We feel this is a high-quality addition to the neighborhood. Bringing much needed enclosed event space to further enhance the Downtown Salida Experience and bringing more people to enjoy it. Thank you for your consideration.

Steven James Riden A.I.A. Architect

Chaffee County, CO

Summary

Parcel Number 368132400116
Account Number R368132400116
Property Address 228 N F ST
Brief Tax Description SALIDA CO
 PT SE4SE4 32-50-9 HAVING 156'
 FRONTAGE ON F ST B528 P699 & 701
 REC 331214 450684 EA
 (Note: Not to be used on legal documents)
Class Commercial
Subdivision
Neighborhood 2500
Tax District District 07
Millage Rate 15.884
Acres 0.291231



Owner Name & Mailing Address

Disclaimer: Mailing address is used for Chaffee County ad-valorem taxation purposes.

Kitson Holdings LLC
 228 N F St
 Salida, CO 81201

Buildings

Occupancy	Hotel/Motel	Roof Type	Flat
Built As	Hotel	Roof Cover	DuroLast
Square Feet	2725	Foundation	24 Concrete
Year Built	1976	Tot # of Rooms	0
Adjusted Year Built	1993	Bed Rooms	0
HVAC	Forced Air	Baths	0
Building Condition	Average	Total Basement Area	0
Building Quality	Good	Exterior Wall	Masonry Common Brick
Interior Stories	2		

Type	Description	Units or Square Footage
Add On	C CONCRETE SLAB GOOD Z	35
Add On	C CONCRETE SLAB GOOD Z	35
Add On	C CONCRETE SLAB GOOD Z	35
Add On	C CONCRETE SLAB GOOD Z	35
Add On	C CONCRETE SLAB GOOD Z	35
Add On	C WOOD DECK Z	96
Add On	C STORAGE FINISHED Z	604

Occupancy	Restaurant/Bar Tavern	Roof Type	Flat
Built As	Restaurant	Roof Cover	DuroLast
Square Feet	5165	Foundation	24 Concrete
Year Built	1976	Tot # of Rooms	0
Adjusted Year Built	1992	Bed Rooms	0
HVAC	Forced Air	Baths	0
Building Condition	Average	Total Basement Area	2725
Building Quality	Good	Exterior Wall	Masonry Common Brick
Interior Stories	1		

Type	Description	Units or Square Footage
Add On	C WOOD DECK Z	240
Add On	C CANOPY STEEL LOW Z	240
Basement	Finished	2725

Occupancy	Retail Store	Roof Type	Flat
Built As	Retail Store	Roof Cover	DuroLast
Square Feet	672	Foundation	24 Concrete
Year Built	2020	Tot # of Rooms	0
Adjusted Year Built	2020	Bed Rooms	0
HVAC	Forced Air	Baths	0

Building Condition Good
Building Quality Average
Interior Stories 1
Total Basement Area 0
Exterior Wall Masonry Common Brick

Occupancy Restaurant/Bar Tavern
Built As Restaurant
Square Feet 4118
Year Built 2020
Adjusted Year Built 2020
HVAC Forced Air
Building Condition Good
Building Quality Average
Interior Stories 1
Roof Type Flat
Roof Cover DuroLast
Foundation 24 Concrete
Tot # of Rooms 0
Bed Rooms 0
Baths 0
Total Basement Area 0
Exterior Wall Masonry Common Brick

Type	Description	Units or Square Footage
Add On	C CANOPY STEEL AVE Z	490
Add On	C CANOPY STEEL AVE Z	686
Add On	C WOOD DECK Z	800
Add On	C CONCRETE SLAB AVE Z	1417

Land

Description	Acres	Square Footage
Lodging Land	0.086708	3,777.00
Special Purpose Land	0.197406	8,599.00
Merchandising Land	0.007117	310.00

This website is not to be used for Financing Purposes, Insurance Purposes, &/or Address Verification.

WARNING- the millage above does not include the school districts mills. Legislation has seperated the school mills from the local governments mills which has created issues with our software companies. Please call with questions (719)539-4016 or see the calculation sheet on the Assessor's main page.

Valuation

Assessed Year	2025	2024	2023	2022	2021
Land Value	\$536,086.00	\$522,353.00	\$522,353.00	\$334,665.00	\$334,665.00
Building Value	\$2,294,396.00	\$1,805,569.00	\$1,805,569.00	\$1,354,553.00	\$1,354,553.00
Total Value	\$2,830,482.00	\$2,327,922.00	\$2,327,922.00	\$1,689,217.00	\$1,689,217.00

Recent Sales

Sale date range:

From:

08/18

To:

08/18

Search Sales by Neighborhood

Distance:

1500

Units:

Feet

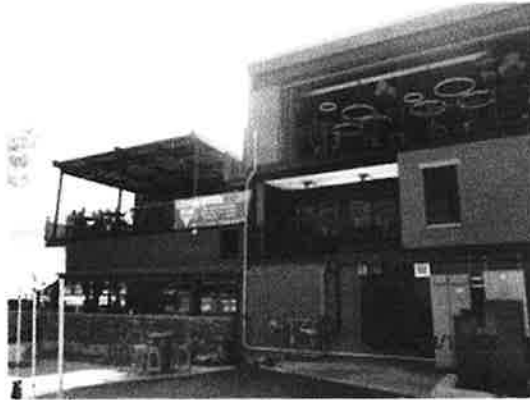
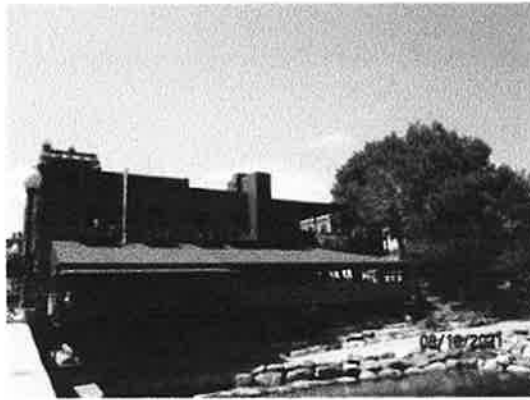


Search Sales by Dis

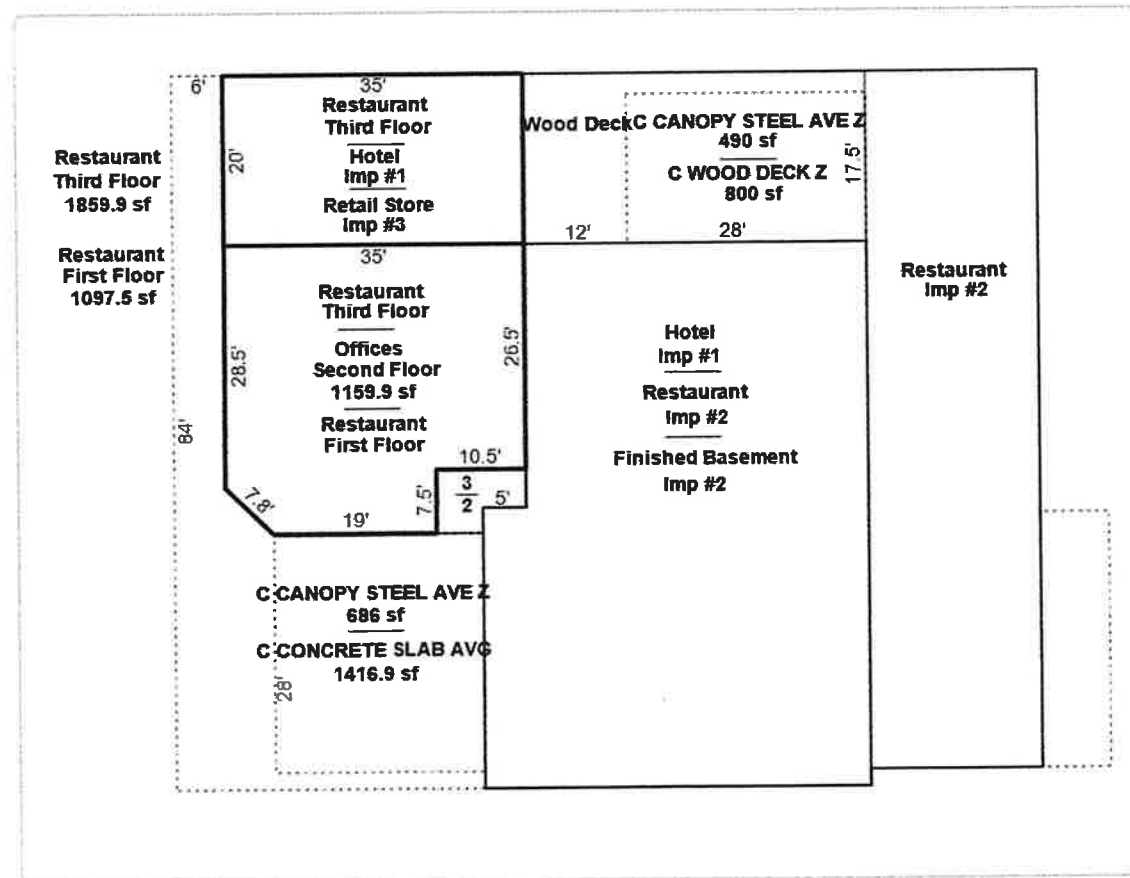
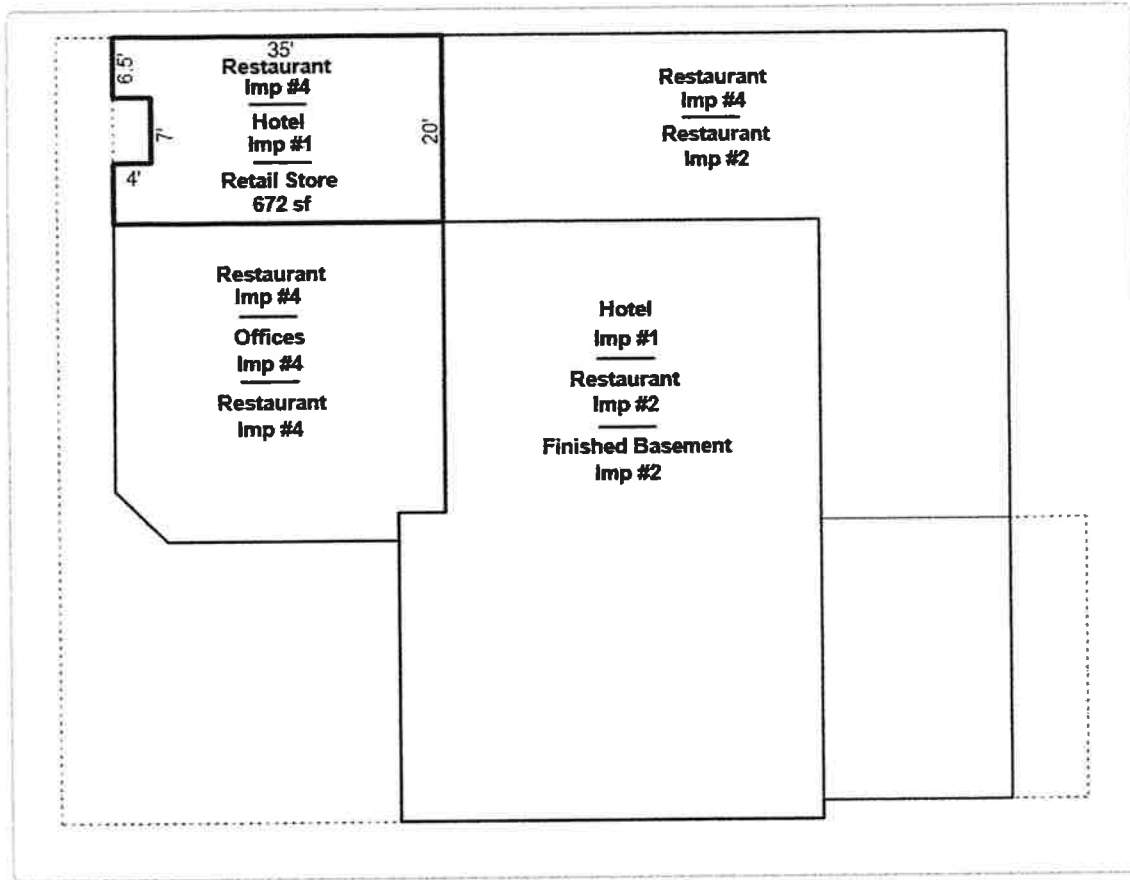
Sales

Sale Date	Sale Price	Instrument	Reception Number	Vacant or Improved	Grantor	Grantee
05/17/2019	\$0	Easement-See Notes	450684	Vacant	FIBARK COMMUNITY PADDLING CENTER & KITSON HOLDINGS LLC	EASEMENT AGREEMENT
03/18/2013	\$0	Supplemental Affidavit	405765	Vacant	KITSON HOLDINGS LLC	KITSON RAYMOND G MANAGER
12/17/2002	\$0	Quit Claim	331214	Improved	KITSON RAYMOND G	KITSON HOLDINGS LLC
10/06/1992	\$92,000	Special Warranty Deed	264568	Improved	SPROUL MICHAEL E	KITSON RAYMOND G
07/25/1989	\$52,000	Warranty Deed	252737	Improved	COLE GREGORY G	SPROUL ANNETTE & MICHAEL E

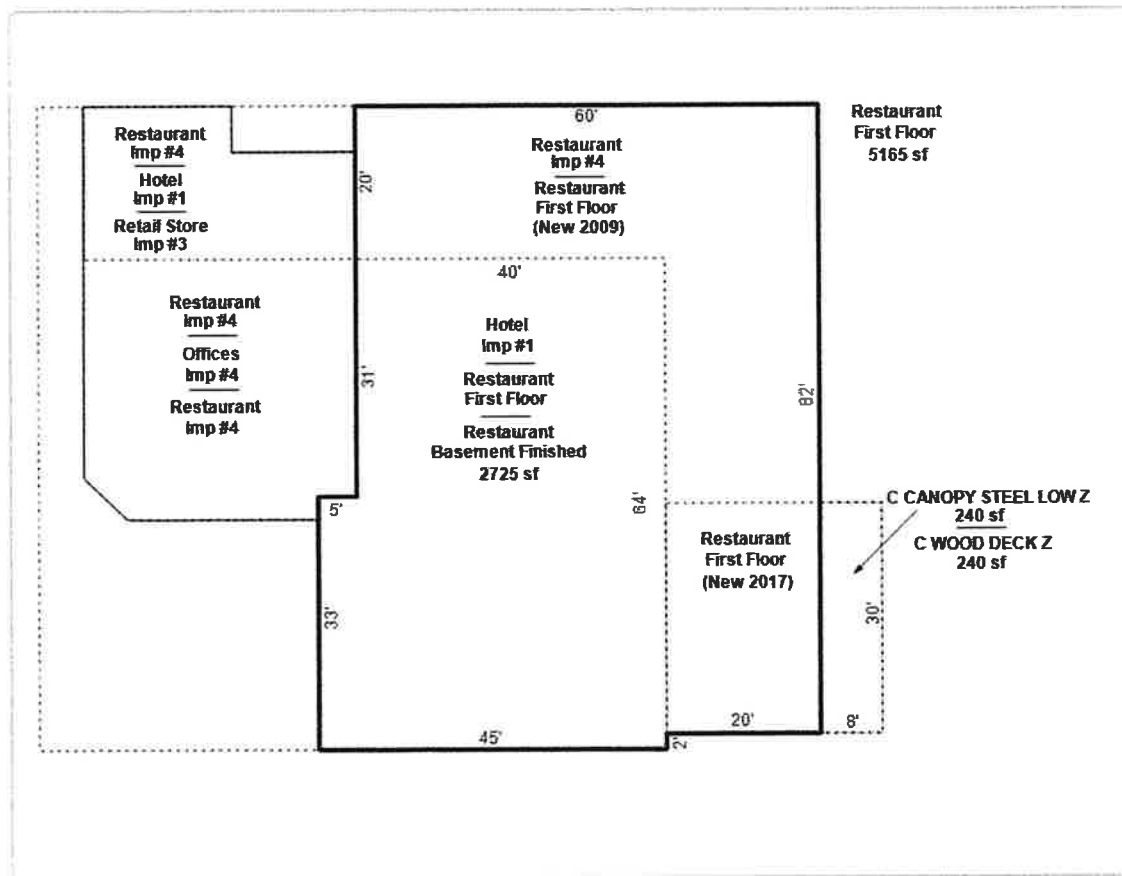
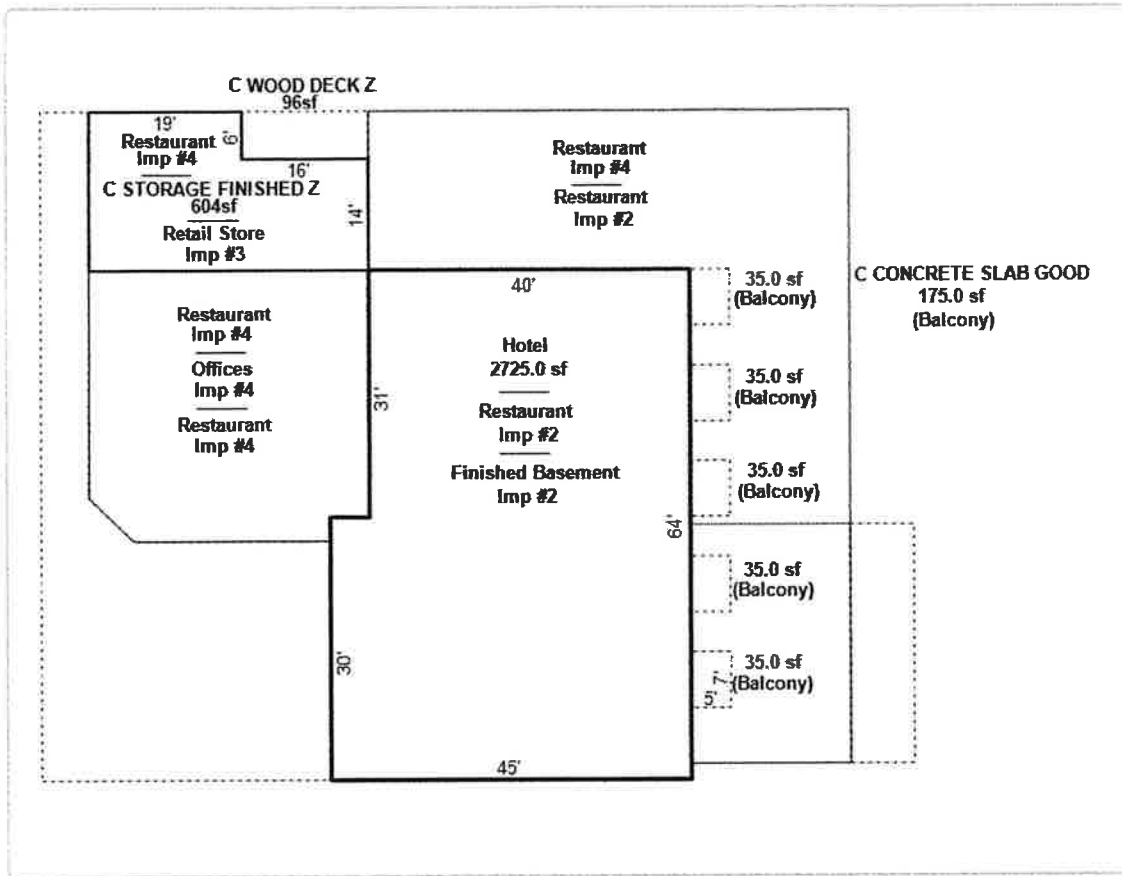
Photos



Sketches



Start Comp Search



THE HISTORIC MANHATTAN RIVERSIDE VENUE 228 NORTH F STREET SALIDA, COLORADO

CONCEPTUAL PROJECT DETAILS

COMMERCIAL EXISTING AREA = 7,410 sf

COMMERCIAL REMODEL (EXISTING HOTEL) = 3,330 sf

COMMERCIAL AREA ADDITION (ABOVE CANTINA) = 2,400 sf

COMMON AREA (STAIRS AND PASSAGES) = 1000 sf

TOTAL COMMERCIAL AREA = 13,146

BUISNESS OFFICE = 915 sf

STORAGE (EXISTING BELOW RESTAURANT) = 2,680 sf

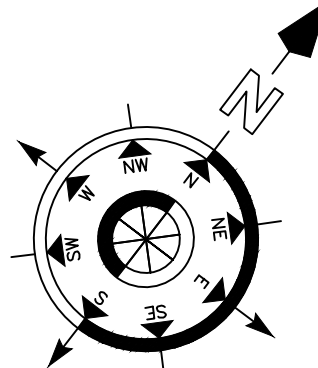
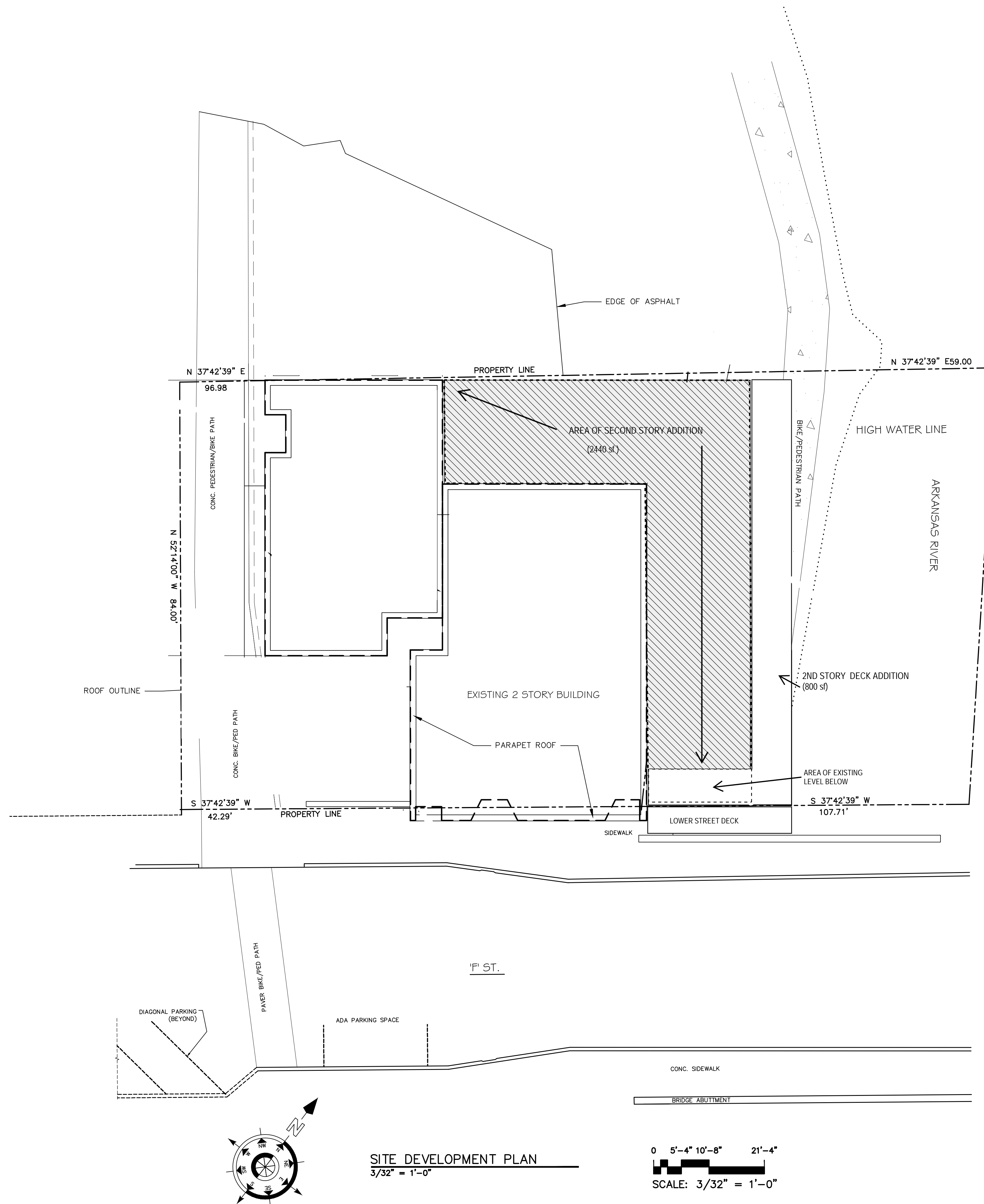
STORAGE (RESIDENTIAL LOBBY) = 475 sf

TOTAL BUILDING AREA = 17,216 sf



AUGUST 15 2025





SITE DEVELOPMENT PLAN
3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"
SCALE: 3/32" = 1'-0"



**STEVEN JAMES RIDEN
ARCHITECT**
115 G STREET, SALIDA COLORADO 81201 970-389-0150
MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

THE HISTORIC MANHATTAN HOTEL
228 NORTH F STREET
SALIDA COLORADO 81201

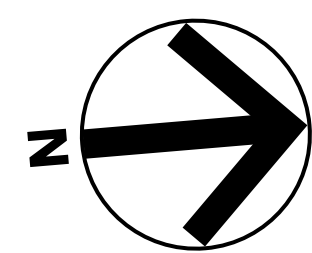
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A.I.A. ARCHITECT P.C.
ALL RIGHTS RESERVED

THIS DOCUMENT, AND THE IDEAS
AND DESIGNS HEREIN, AS AN
INSTRUMENT OF PROFESSIONAL
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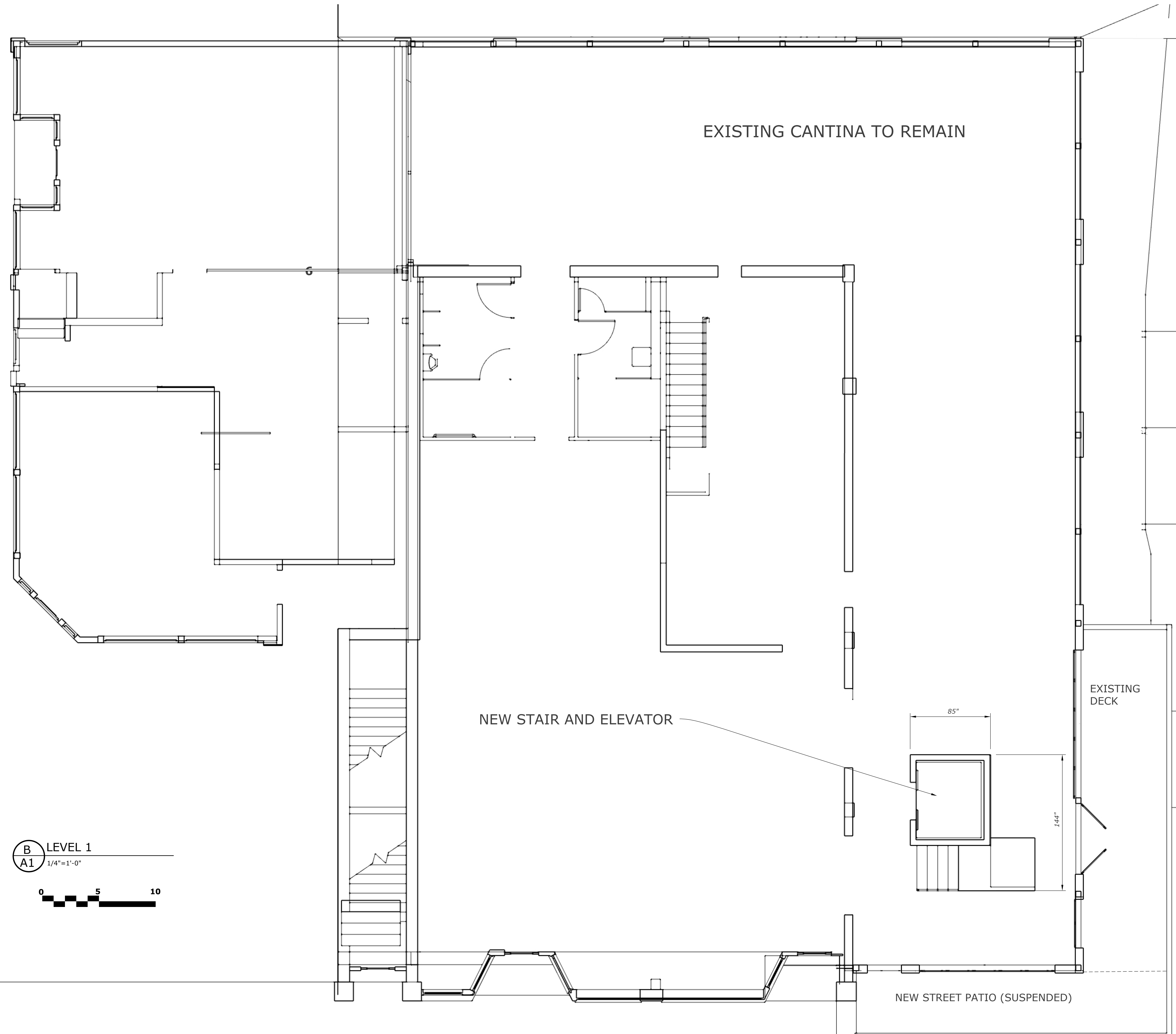
THE CONTRACTOR SHALL THOROUGHLY
INSPECT AND SURVEY EXISTING
FIELD CONDITIONS TO VERIFY
THAT THOSE SHOWN REFLECT
WORK ON THE DRAWINGS.
THE CONTRACTOR SHALL REPORT
ANY VARIATIONS OR DISCREPANCIES
TO THE ARCHITECT BEFORE
PROCEEDING.

JOB NUMBER:	25-01
DRAWN BY:	SJR
DATE:	AUGUST 15, 2025
REVISION DATE:	

SD1

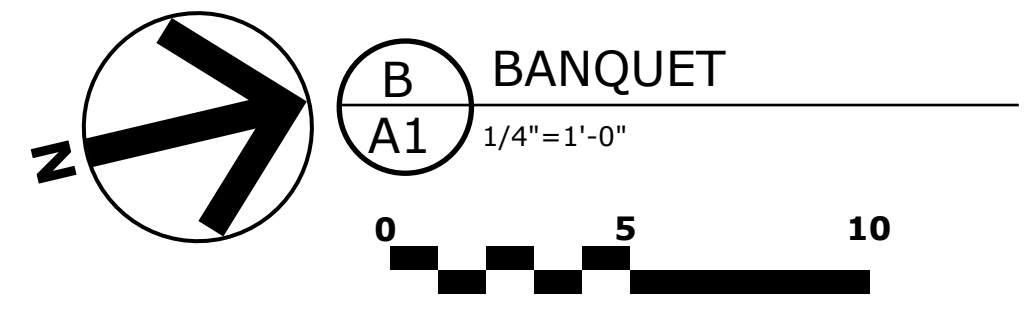
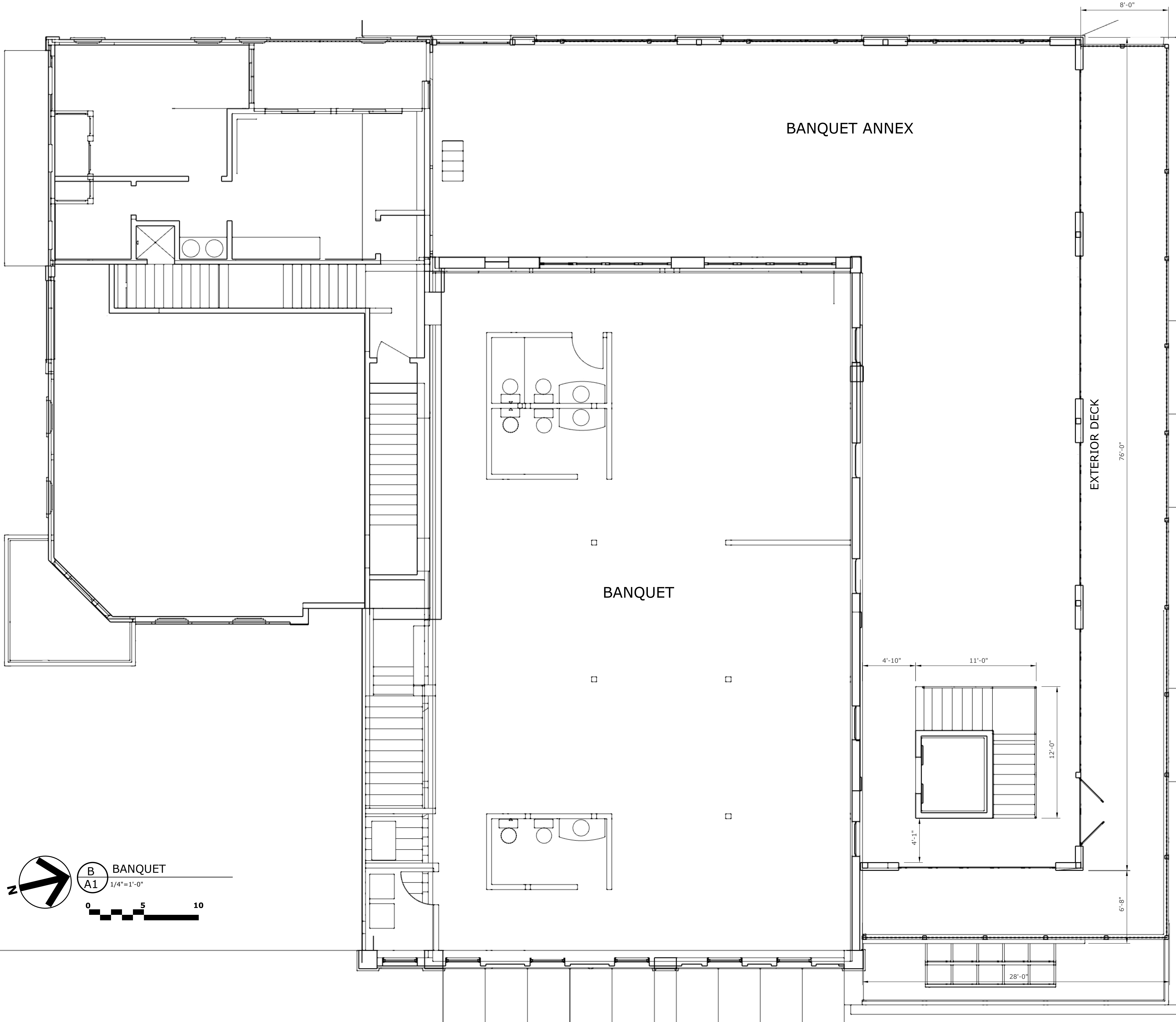


B LEVEL 1
A1 1/4"=1'-0"
0 5 10

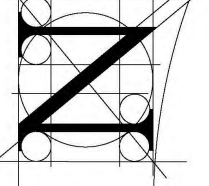
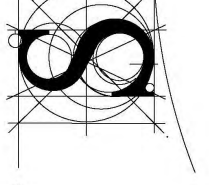


N
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S
MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

**THE HISTORIC MANHATTAN RIVERSIDE
VENUE
228 NORTH F STREET SALIDA, COLORADO**



B BANQUET
A1 1/4"=1'-0"


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BRICKWORK TO MATCH 2019 ADDITION

A NORTH
A1 1/4"=1'-0"

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RETRACTABLE AWNING

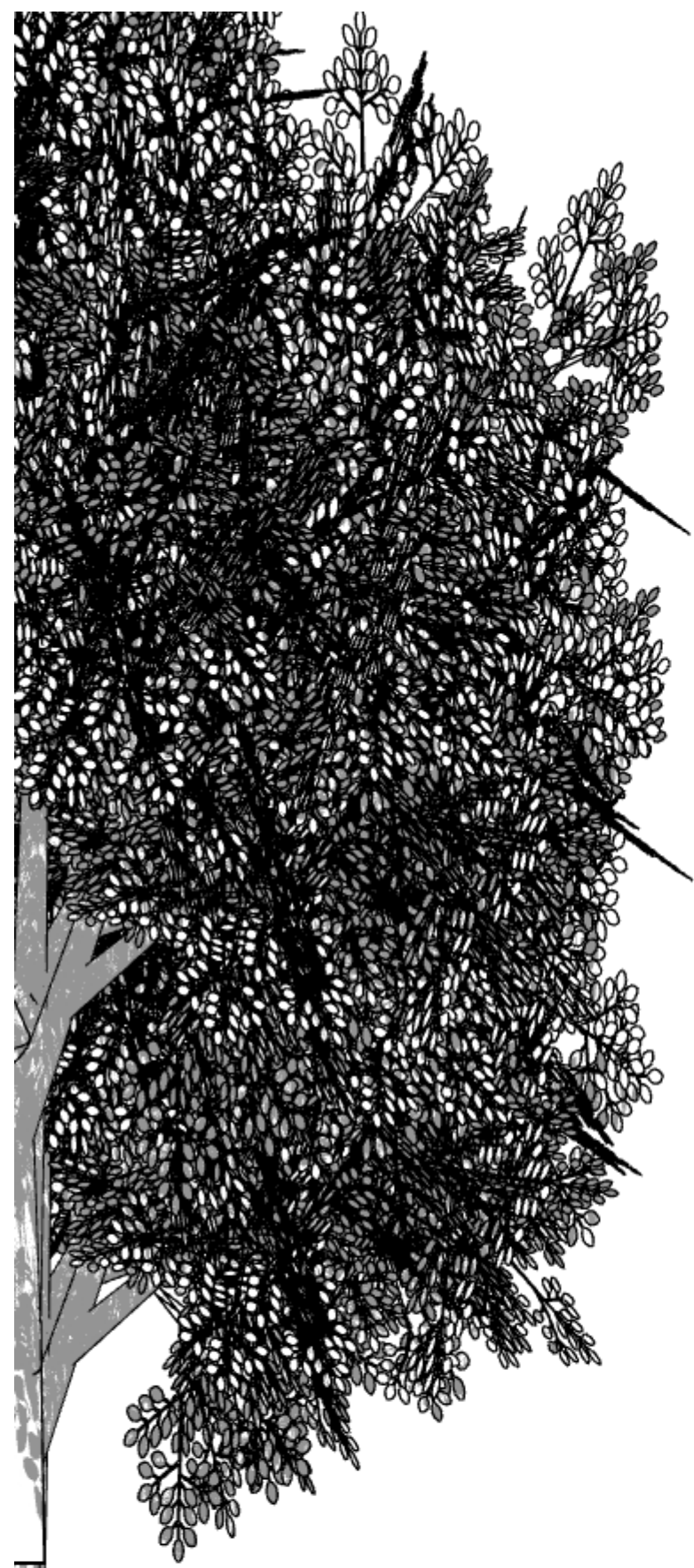
13'-0" RAILING TO MATCH EXISTING

29'-6" DOORS AND WINDOWS TO BE ALUMINUM FRAME TO MATCH EXISTING

16'-6"

B EAST
A1 1/4"=1'-0"

**THE HISTORIC MANHATTAN RIVERSIDE
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A SOUTH
A1 1/4"=1'-0"

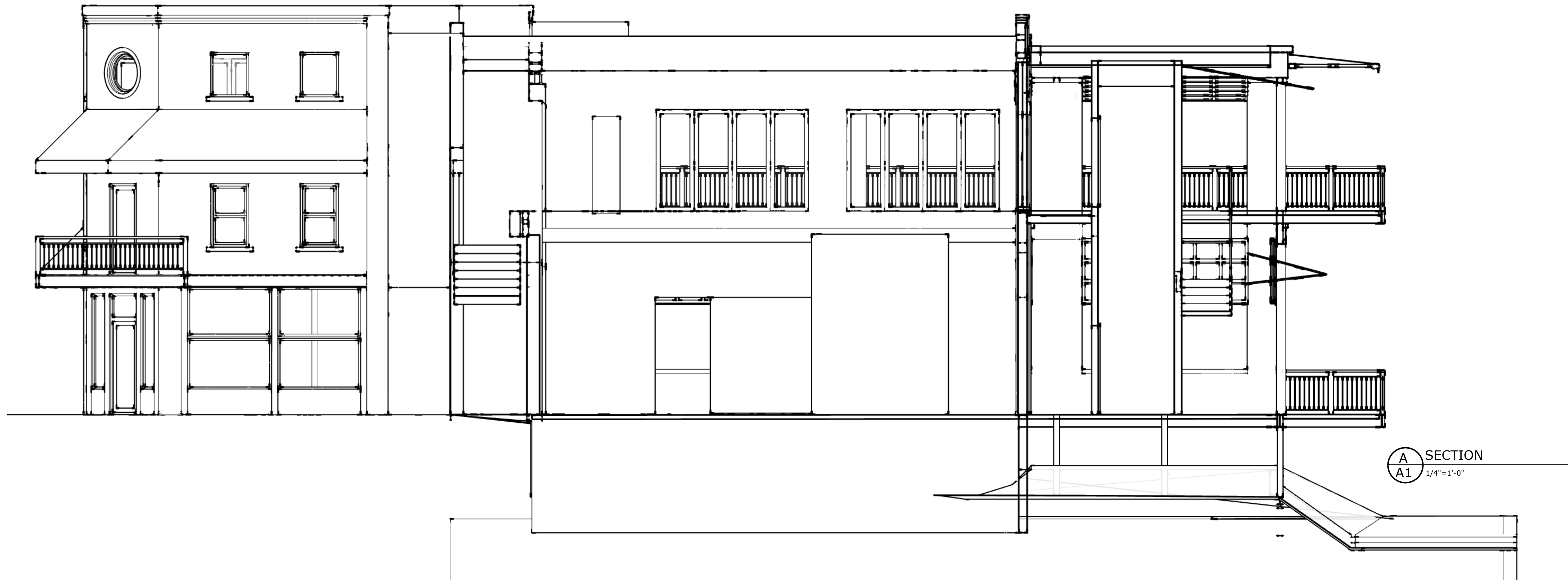


B EAST
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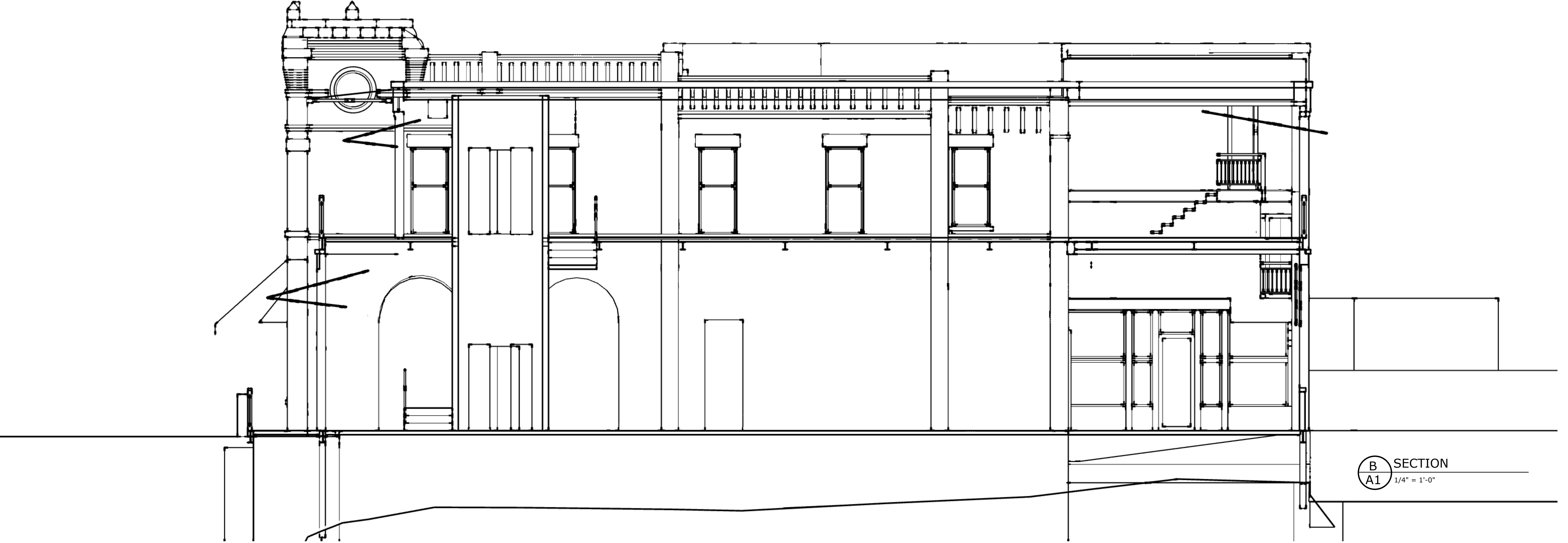
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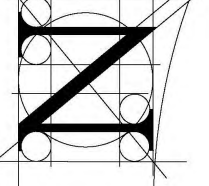
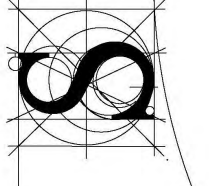
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A SECTION
A1 1/4" = 1'-0"

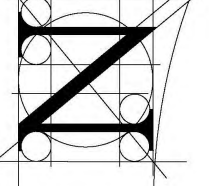
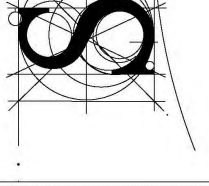


B SECTION
A1 1/4" = 1'-0"


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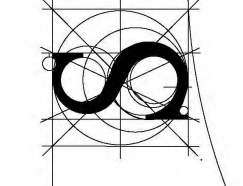
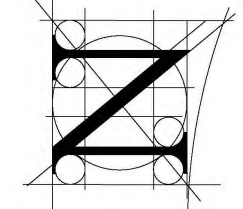


THE HISTORIC MANHATTAN RIVERSIDE
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228 NORTH F STREET SALIDA, COLORADO



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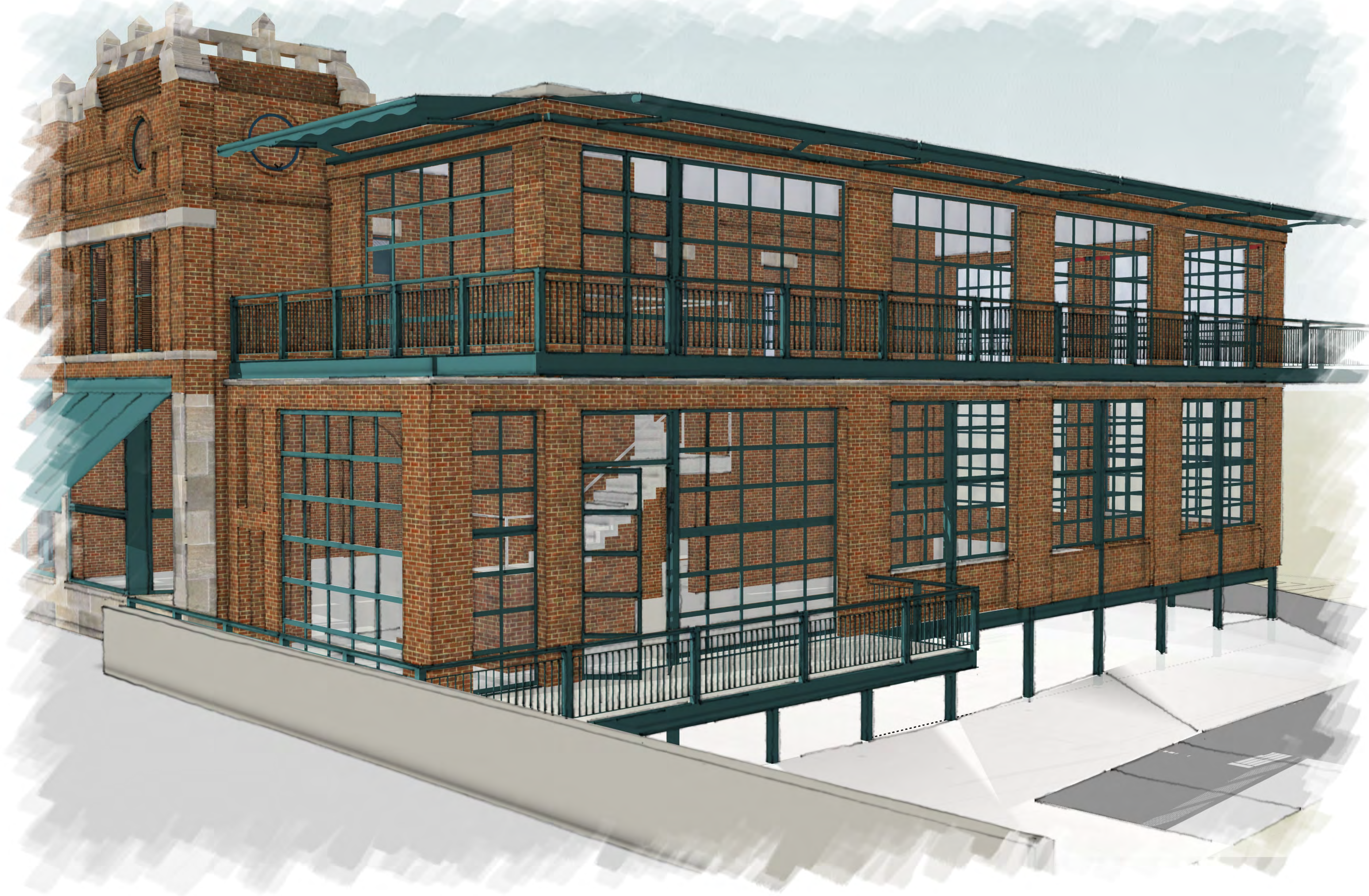


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**THE HISTORIC MANHATTAN RIVERSIDE
VENUE
228 NORTH F STREET SALIDA, COLORADO**



COLORADO CULTURAL RESOURCE SURVEY
Architectural Inventory Form

Page 1 of 4

Date _____	Initials _____
_____	Determined Eligible-NR
_____	Determined Not Eligible-NR
_____	Determined Eligible-SR
_____	Determined Not Eligible-SR
_____	Need Data
_____	Contributes to Eligible NR District
_____	Noncontributing to Eligible NR District

I. IDENTIFICATION

- 1. **Resource Number:** 5CF213
- 2. **Temporary Resource Number:** 50
- 3. **County:** Chaffee
- 4. **City:** Salida
- 5. **Historic Building Name:** Bon Ton Hotel, Manhattan Hotel
- 6. **Current Building Name:** Manhattan Hotel, Headwaters Outdoor Equipment
- 7. **Building Address:** 228 N. F St.
- 8. **Owner Name and Address:** Kitson, Raymond G., 228 N. F St., Salida, CO 81201

Parcel Number: 368132400116
SHF Grant Number: 2001-02-004

II. GEOGRAPHIC INFORMATION

9. **P.M.** N.M. **Township** 50N **Range** 9E
1/4 1/4 SE 1/4 SE 1/4 **of Section** 32

10. **UTM Reference**
Zone 13 **Easting** 413703 **Northing** 4265729

11. **USGS Quad Name:** Salida East, Colo.
Year: 1994 **Map Scale:** 7.5' Attach photo copy of appropriate map section.

12. **Lot (s):** N/A **Block(s):** N/A

Addition: Salida Original Townsite **Year of Addition:** 1880

13. **Boundary Description and Justification:**
Boundary includes the building and the urban parcel on which it is situated.

III. ARCHITECTURAL DESCRIPTION

- 14. **Building Plan (footprint, shape):** Rectangular
- 15. **Dimensions in Feet: Length** 63 **X Width** 43
- 16. **Stories:** 2
- 17. **Primary External Wall Material(s) (enter no more than two):**
Brick
- 18. **Roof Configuration (enter no more than one):**
Flat
- 19. **Primary External Roof Material (enter no more than one):** Asphalt
- 20. **Special Features (enter all that apply):**
Crenellation, Decorative Cornice, Tower, Chimney
- 21. **General Architectural Description:**

Two-story, brick hotel building with flat roof, stepped down toward rear. Red brick walls with stone trim and stone foundation. Façade divided into three bays by stone columns topped by brick pilasters with corbelled capitals with pyramidal stone tops. Triangular stone pediment on roof at south end of façade is carved "1901" and flanked by brackets with molded brick and stone trim. Stone crenellation along top of roof with projecting pyramidal caps. Paneled brickwork below this has vertical and horizontal insets above panels of dogtooth brickwork. At north end is short "tower" that projects above rest of roofline, has band of several rows of molded brick, and is enframed with

brick corner brackets with stone trim. The tower features a round window with stained glass. Course of panels above rock-faced lintel course of second story. Second story has six tall double-hung sash windows: one in the first bay on the south, three in the center bay, and two in the north bay. Between the windows of the center and north bay are inset panels with molded brick at the top. Continuous narrow rock-faced stone sill course.

First story has metal lintels with rosettes (patarae) and fabric awnings sheltering lower walls. Rock-faced stone columns with tooled edges divide first story into three bays. Bay to south has inset entrance with paneled and glazed door sheltered by fabric awning. Center and north bays have inset entrances with wood doors with large rectangular lights, sidelights, transoms, and clerestory windows. Metal columns and plate glass display windows with rock-faced stone under windows.

The north wall has the second story tower with a round window and panels of dogtooth brickwork. The north wall is divided into bays by brick wall piers that project above the roof and has narrow horizontal brick courses. The windows are mostly large flat arch 1/1-light double-hung sash with rock-faced stone lintels and sills. At the east end of the first story are two immense round arched windows with decorative brick hood molds. The raised stone foundation of the building has small basement windows (with louvers or bricked up).

The rear wall has metal fire stairs to the second story, segmental arched windows with rock faced stone sills, and entrances on both stories. The south wall has a series of overlapping painted wall signs for Snow Drift, Coca Cola, and the Manhattan Hotel. The foundation is covered with concrete. The south wall is stepped back toward the west end and has double-hung sash windows.

22. **Architectural Style/Building Type:** Late 19th and Early 20th Century American Movements/Commercial Style

23. **Landscaping or Special Setting Features:**

N/A

24. **Associated Buildings, Features, or Objects:**

None

IV. ARCHITECTURAL HISTORY

25. **Date of Construction: Estimate**

Actual 1901

Source of Information: Plaque on Building

26. **Architect:** Unknown

Source of Information:

27. **Builder/Contractor:** Unknown

Source of Information:

28. **Original Owner:** Unknown

Source of Information:

29. **Construction History (include description and dates of major additions, alterations, or demolitions):**

The 1898 Sanborn map shows this block as vacant. This building appears on the 1904 Sanborn map. The building had a one-story projection on the south half of the rear wall which was used as a kitchen. This projection is no longer extant.

30. **Original Location:** Yes

Date of Moves

V. HISTORICAL ASSOCIATIONS

31. **Original Use(s):** Domestic/Hotel

32. **Intermediate Use(s)** Domestic/Hotel

33. **Current Use(s):** Domestic/Hotel

Commerce and Trade/Specialty Store

34. **Site Type(s):** Hotel

35. **Historical Background:**

The Sanborn map of 1898 shows this entire block as vacant. A plaque on the building is carved "1901." The 19 September 1902 edition of the Salida Record reports, "One of the most comfortable hotels in this section is the Bon Ton of this city. This is a new two-story brick, located on the river at the foot of F street. The Bon Ton is under the management of Fred L. Scott, who recently returned from Cape Nome, Alaska, where he had valuable mining interests. This hotel has first class rooms, bath [sic], electric lights and the best of service. Located near to the railroad it is especially convenient for travelers arriving at night and who have to lay over to take an early morning train. In connection with the hotel is a first class restaurant, popular with the public, and having a large and constantly increasing patronage." The adjacent Windsor Café building, which had been erected earlier, became part of the Bon Ton.

The building appears on the 1904 Sanborn map, when it is shown with a restaurant on the north and a saloon on the south, with a kitchen at the rear of the building. The 1903-04 city directory refers to the building as a European hotel and restaurant, managed by Mrs. Louise Henkel. The Bon Ton Hotel Co. was listed as the proprietor of the hotel. Murray & Putnam (William H. Murray and Harry Putnam) had a saloon in the building, offering wines, liquors, cigars, and club rooms (managed by Jesse Owen.) This was the nearest saloon to the railroad depot. The 1905-06 city directory indicated that the hotel was again known as the Bon Ton, operated by the Boston Hotel & Restaurant Co. Charles E. Cope was manager of the hotel, which advertised, "Meals and lunches at all hours day or night. Just across the bridge 1-2 minute walk from Depot. All trains stop for meals or lunches at this point." The saloon was then operated by William H. Murray. In 1909 the city directory listed the Bon Ton Hotel and Restaurant here, as well as the saloon of W.H. Murray. A 1909 newspaper article reported that the Bon Ton, owned by Mr. and Mrs. F.W. Jurdon, was "the best paying restaurant in the city." The 1914 map showed a saloon and a restaurant in the building. The 1922-23 city directory listed Frank Panian Billiards and Adolph Merizn's restaurant here. The hotel was not listed. The 1927-28 city directory indicated that Matthew Mautz had a billiard parlor here and W.W. Wilson had a restaurant. The hotel was not listed in the directory.

The 1930-31 city directory listed this as the Manhattan Hotel, operated by Fred Egan. Salida walking tours indicate that the building was vacant in the 1930s, and used intermittently up to 1976. The 1945 Sanborn map shows hotel rooms on the second floor, with a restaurant and a store on the first story. The 1951 city directory did not list this address as a hotel. A 1971 article in the Pueblo Chieftain reported that the building was owned by the Fib-Ark (Federation of International Boaters of the Arkansas) Association. Subterranean Rags, a clothing store owned by Cristy Rouheir and Dave Welch, was located here. Welch and four other bachelors occupied the second floor of the building. When visiting boat racers arrived in town, they also shared the second floor. Salida walking tours indicate that the Theotokatas family owned the hotel for many years before deeding it to Fib-Ark. In 1976 Fib-Ark Association determined that the building should be used to house visitors for the city's annual summer races. In 1980 the association sold the hotel to raise money to build its boathouse behind the building. The owner of the building in 1982 was Gregory B. Cole, a Glenwood Springs architect. The building was later acquired by Mike Sproul, who sold it to Ray and Penny Kitson in 1992. The Kitsons operate it as a bed and breakfast on the upper floor, with Headwaters Outdoor Equipment on the first floor.

36. Sources of Information:

Salida Record, 19 September 1902; Salida Mail, 31 December 1909, 1; Chaffee County Assessor records; Salida City Directories; Sanborn Insurance Maps; Salida Walking Tours; Manhattan Hotel National Register of Historic Places Nomination Form, 1982; Pueblo Chieftain, 26 July 1971, 3A.

VI. SIGNIFICANCE

37. Local Landmark Designation: No

Date of Designation:

Designating Authority:

38. Applicable National Register Criteria:

- X A. Associated with events that have made a significant contribution to the broad pattern of our history;
 - B. Associated with the lives of persons significant in our past;
 - X C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
 - D. Has yielded, or may be likely to yield, information important to history or prehistory.
- Qualifies under Criteria Considerations A through G (See Manual).
Does not meet any of the above National Register criteria.

39. Area(s) of Significance: Commerce
Architecture

40. **Period of Significance:** 1901-1953

41. **Level of Significance:** Local

42. **Statement of Significance:**

This building, erected in 1901, is significantly associated with the development of North F Street as a site of hotels, restaurants, saloons, and other businesses that catered to travelers stopping at the nearby Salida railroad depot during the early twentieth century. The building is notable for its architecture, which maintains high historic physical integrity, and features a stone pediment, and projecting tower with round windows, stone crenellation and courses, decorative brick work, including molded brick, paneled brickwork, and dogtooth brickwork, and its original storefront design.

43. **Assessment of Historic Physical Integrity Related to Significance:**

The building displays excellent historic physical integrity. The small kitchen projection on the south side of the rear wall is gone. Concrete has been placed at the foundation on the south wall.

VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

44. **National Register Field Eligibility Assessment:** Listed

45. **Is there National Register district potential? Discuss.** N/A

This building is individually listed in the National Register and is located within the existing National Register district, the Salida Downtown Historic District.

If there is NRHP district potential, indicate contributing status: N/A

46. **If the building is in an existing NRHP district, indicate contributing status:** Contributing

VIII. RECORDING INFORMATION

47. **Photographic Reference(s):** 1: 12, 14, 16, 18.

Negatives Filed At: City of Salida

Photographer: Roger Whitacre

48. **Report Title:** Downtown Salida Historic Buildings Survey, 2001-02

49. **Date(s):** September 2002

50. **Recorder(s):** R.L. Simmons/T.H. Simmons

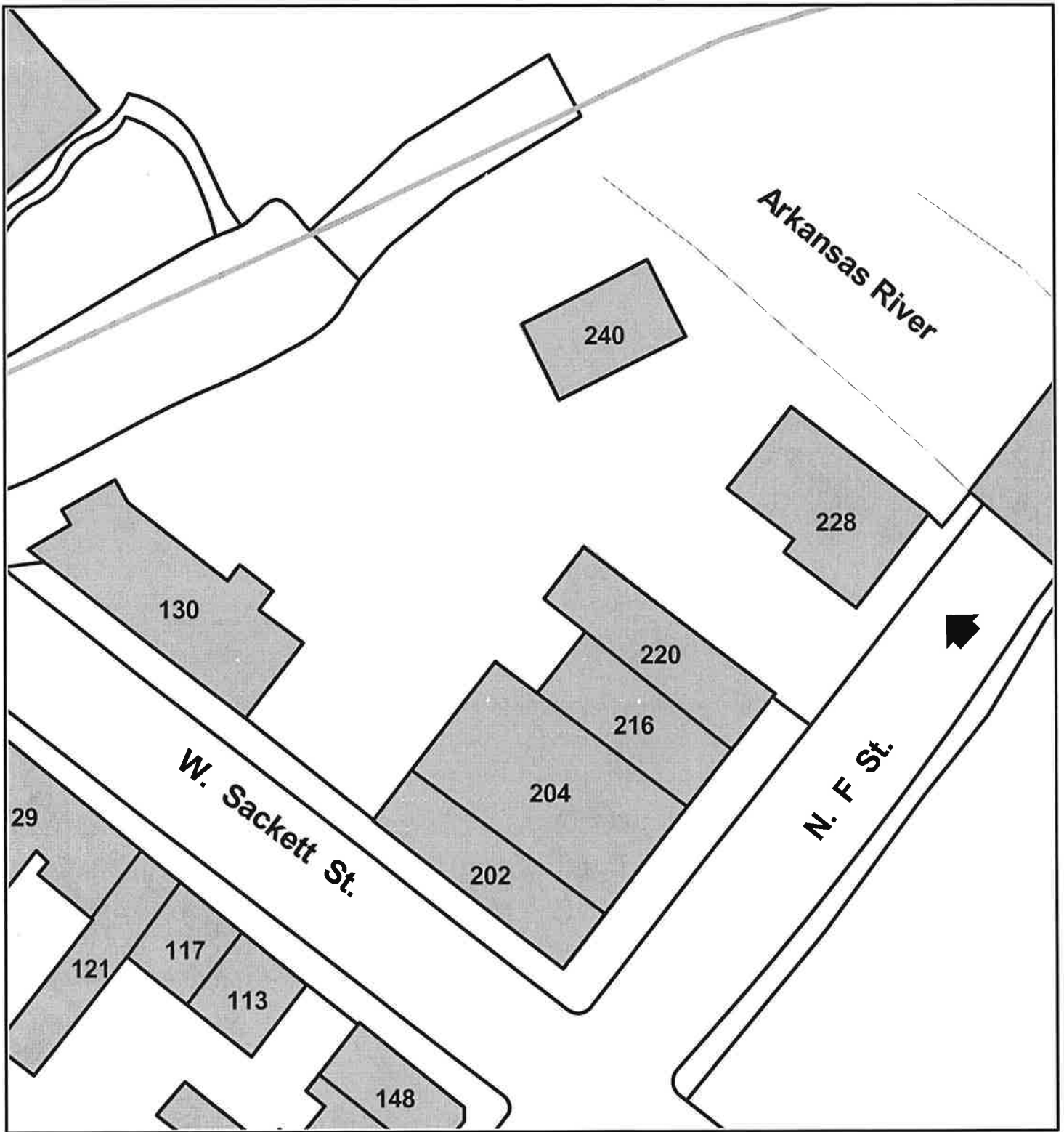
51. **Organization:** Front Range Research Associates, Inc.

52. **Address:** 3635 W. 46th Ave.

53. **Phone Number(s):** (303) 477-7597

NOTE: Please attach a sketch map, a photocopy of the USGS quad map indicating the resource's location, and photographs.

Colorado Historical Society-Office of Archaeology and Historic Preservation
1300 Broadway, Denver, Colorado 80203 (303) 866-3395

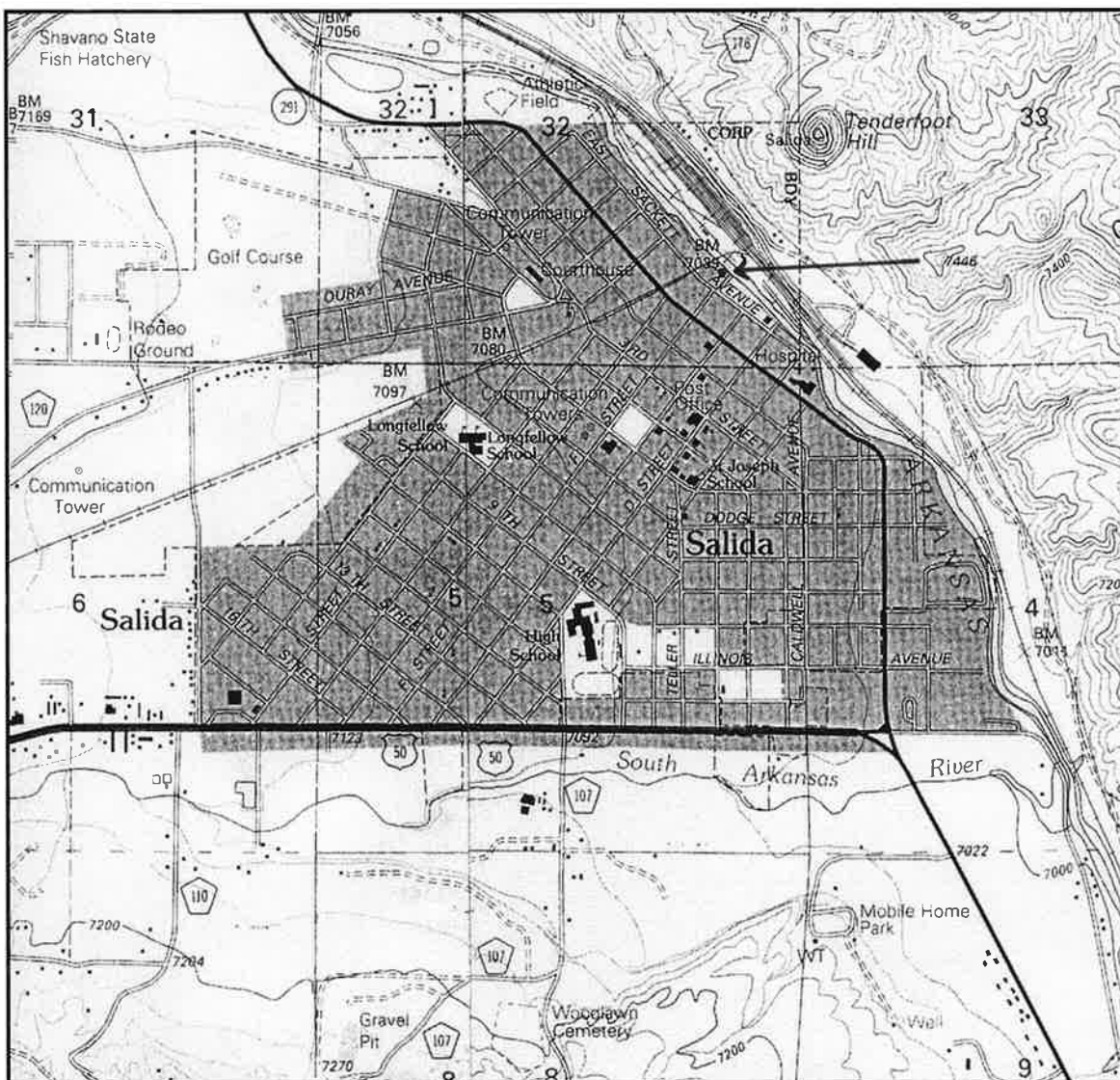


228 N. F Street, 5CF213



**Downtown Salida Historic Buildings Survey, 2001-02
USGS Location Map**

228 N F St, 5CF213



Mosaic of extracts from U.S. Geological Survey, "Salida East, Colo.," and "Salida West, Colo.," (Denver, Colo.: U.S. Geological Survey, 1994).



1-14 228 N F St
1-11-NNN 2152
WNW

State ID#: 5CF213 SHF Grant #: 2001-02-004
Address: 228 N F ST
City: Salida County: Chaffee
Roll/Frame/Cam Dir.: 1 / 14 WNW Date: Nov. 2001
Neg. Loc.: City of Salida Photographer: Roger Whitacre

1-18 228 N F St
2513 N N N+ ML-1
E

State ID#: 5CF213 SHF Grant #: 2001-02-004
Address: 228 N F ST
City: Salida County: Chaffee
Roll/Frame/Cam Dir.: 1 / 18 E Date: Nov. 2001
Neg. Loc.: City of Salida Photographer: Roger Whitacre

1-12 228 N F St
2513 N N N+ ML-1
NNW

State ID#: 5CF213 SHF Grant #: 2001-02-004
Address: 228 N F ST
City: Salida County: Chaffee
Roll/Frame/Cam Dir.: 1 / 12 NNW Date: Nov. 2001
Neg. Loc.: City of Salida Photographer: Roger Whitacre

1-16 228 N F St
2513 N N N+ ML-1
NNE

State ID#: 5CF213 SHF Grant #: 2001-02-004
Address: 228 N F ST
City: Salida County: Chaffee
Roll/Frame/Cam Dir.: 1 / 16 NNE Date: Nov. 2001
Neg. Loc.: City of Salida Photographer: Roger Whitacre